



Request for Bids

Mississippi Valley State University

**THIS IS
NOT AN
ORDER**

14000 Hwy 82-W #7244
Itta Bena MS 38941-1400

Web Address: www.mvsu.edu/purchasing/

Phone No: (662) 254-3319 Fax (662) 254-3314

Bid Title:

Roof Replacement Project

Requester and Requesting Department:

Michael Switzer
Facilities Management

Date:

7/2/2026

Bid No.

VSRB

1001055-B

Number of Pages

Change Order:

Original

Term – End of Month

Bids/Proposals – Do not include State or Federal Taxes in your bids/proposals. The University is exempted from these taxes. All order will be placed with successful bidder by Official Purchase Order.

Mississippi Valley State University is considering the purchase of the following item (s). **We ask that you submit your Bids/Proposals in three copies.** Rights are reserved to accept, or reject any and all parts of your bid/proposals. Your bid/proposals will be given consideration if received in this Office on or before the date and time below.

☐ This bid/proposal will be awarded on a line by line basis

☐ This bid/proposal will be awarded on a all or none basis

However, the University reserves the rights to award any and all bids/proposals in the best interest of the University.

Bid/Proposal opening {Date and Time}

August 6, 2026@ 2:00 p.m.

Mississippi Valley State University

By: Billy D. Scott, Interim Purchasing Director

Email: Bscott@mvsu.edu

NOTE: If you cannot quote on the exact material shown, please indicate any exceptions, giving brand names and complete specifications on any alternate. Mississippi Valley State University reserves the rights to accept any alternate of equal or greater quality or performance. We also reserve the rights to waive any irregularities that may appear in the Bids/Proposals specifications.

ITEM	QUANTITY	DESCRIPTIONS	UNIT PRICE	TOTAL NET PRICE
Please show Bid/Proposals No. on outside of Envelope				

☐ If checked, Mississippi Valley State University reserves the rights for an additional 60 days to purchase and additional 20% of this bid/proposal at the same cost.

We quote you as above F.O.B – Mississippi Valley State University. Shipment can be made within days from receipt of the order.

Terms:

Date:

Phone/Fax:

Official Signature:

Company Quoting

Name

Address

City, State

Zip Code

GENERAL NOTES:

IT IS THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS THAT THE CONTRACTOR PROVIDE ALL MATERIAL, LABOR, TOOLS, EQUIPMENT, SERVICES AND TEMPORARY FACILITIES AS CALLED FOR OR REASONABLY IMPLIED BY THE DRAWINGS AND AS NECESSARY FOR A COMPLETE AND FUNCTIONAL SYSTEM.

INFORMATION CONTAINED IN THESE DRAWINGS PERTAINING TO EXISTING CONDITIONS WAS TAKEN FROM ON-SITE OBSERVATIONS, MEASUREMENTS AND INFORMATION PROVIDED BY OTHERS. THEREFORE, THESE DRAWINGS DO NOT PURPORT TO SHOW ALL EXISTING INFORMATION NOR DOES IT ATTEST TO THE ACCURACY OF THAT WHICH IS SHOWN. THE CONTRACTOR SHALL VISIT THE PROJECT SITE AND THOROUGHLY FAMILIARIZE HIMSELF WITH ALL EXISTING CONDITIONS. CLAIMS FOR ADDITIONAL WORK WILL NOT BE CONSIDERED EXCEPT FOR REASONABLY UNFORESEEN CONDITIONS, AS DETERMINED BY THE ARCHITECT.

THE CONTRACTOR SHALL REVIEW ALL DIMENSIONS AND CONDITIONS IN THE FIELD PRIOR TO BEGINNING WORK AND SHALL NOTIFY THE ARCHITECT OF ANY MAJOR DISCREPANCIES. THE CONTRACTOR SHALL NOT PROCEED UNTIL RECEIVING FURTHER INSTRUCTIONS FROM THE ARCHITECT.

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LOCAL, STATE AND NATIONAL CODES, RULES, ORDINANCES AND REGULATIONS GOVERNING THE WORK.

THE CONTRACTOR SHALL REVIEW THE SITE FOR PLACEMENT OF EQUIPMENT AND THE STORAGE OF MATERIALS. THE CONTRACTOR SHALL REVIEW HIS PLAN WITH THE OWNER TO OBTAIN APPROVAL. THE CONTRACTOR SHALL PAY CLOSE ATTENTION TO THE CLOSE PROXIMITY OF THE WORK SITE TO ADJACENT BUILDINGS.

THE CONTRACTOR SHALL TAKE ALL PRECAUTIONS NECESSARY TO PROTECT TREES, SHRUBBERY AND OTHER VEGETATION IN AREAS NOT TO BE CLEARED, GRADED OR DISTURBED.

THE CONTRACTOR SHALL PROVIDE ALL SLOPES AND SKALES, IN ADDITION TO THOSE SHOWN, AS NECESSARY TO ADEQUATELY DRAIN ALL SITE STORM WATER AWAY FROM THE BUILDING AND TO THE ORIGINAL OUTFALL.

THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT ADJACENT PROPERTY AGAINST DAMAGE FROM STORM WATER RUNOFF, SILTING AND/OR HIS CONSTRUCTION OPERATIONS.

A NOTE OR SPECIFICATION ITEM CALLED FOR ON THE DRAWINGS SHALL APPLY TO ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.

THE CONTRACTOR SHALL COORDINATE CLOSELY WITH THE OWNER ANY REQUIRED INTERRUPTION OF UTILITIES SERVICES AND SHALL NOTIFY THE OWNER OF ANY SUCH INTERRUPTIONS WELL IN ADVANCE OF SUCH INTERRUPTIONS.

THE CONTRACTOR SHALL PROVIDE ALL ENGINEERING AND SURVEYING NECESSARY TO ESTABLISH LIMITS OF WORK, GRADES AND SOIL BEARING CAPACITY AS CALLED FOR.

BEFORE STARTING ANY WORK AT THE SITE THE CONTRACTOR SHALL CONTACT APPROPRIATE UTILITY OWNERS REGARDING KNOWN UTILITY/SERVICE LINES THAT MAY BE AFFECTED BY HIS CONSTRUCTION OPERATIONS. SHOULD HIS CONSTRUCTION OPERATIONS INTERRUPT OR DAMAGE SUCH UTILITY, THE CONTRACTOR SHALL RESTORE SUCH LINES AND SERVICES AT NO COST TO THE OWNER.

THE CONTRACTOR SHALL PROVIDE ADEQUATE TEMPORARY BRACING AND SUPPORTS UNTIL ALL PERMANENT BRACING AND SUPPORTS ARE SECURELY IN PLACE. THE DESIGN OF SUCH TEMPORARY BRACING AND SUPPORTS IS THE RESPONSIBILITY OF THE CONTRACTOR. IF THE CONTRACTOR IS NOT CAPABLE OF DESIGNING SUCH TEMPORARY BRACING HE SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR THE REQUIRED DESIGN SERVICES FROM A QUALIFIED SOURCE.

ON-SITE BURNING IS PROHIBITED.

THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL PERMITS REQUIRED FOR THE EXECUTION OF THE WORK.

THE CONTRACTOR WILL BE EXPECTED TO PROVIDE MATERIALS CONSISTENT WITH THE GRAPHIC DEPICTION OF THE DRAWINGS AND/OR REASONABLY INFERRED FROM THE CONSTRUCTION SHOWN.

DIMENSIONS ARE NOMINAL. SLIGHT VARIATIONS NOT AFFECTING THE DESIGN INTENT ARE EXPECTED. CONTRACTOR TO ADVISE OF APPARENT DISCREPANCIES PRIOR TO PROCEEDING WITH CONSTRUCTION.

SHOULD CLEAR OMISSIONS OR ERRORS BE NOTED, IT IS THE BIDDER'S RESPONSIBILITY TO NOTIFY THE ARCHITECT AS SOON AS POSSIBLE PRIOR TO THE BID DATE SO THAT AN ADDENDUM MAY BE PREPARED.

PROTECTION OF EXISTING OBJECTS/MATERIALS:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL COMPONENTS OF THE BUILDING AND SITE FROM DAMAGE. IN PARTICULAR, ALL CAST STONE PARAPETS, SPECIAL FINISHES, ETC. MUST BE PROTECTED FROM DAMAGE AND BLEMISHES DUE TO CONSTRUCTION ACTIVITIES AND MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR HAVING PROTECTION IN PLACE AT ALL TIMES. IN PARTICULAR, BUILDING SURFACES SHALL BE PROTECTED AT THE LOCATIONS WHERE MATERIALS ARE BEING LOADED ONTO THE ROOF AND ROOF EDGES WHERE WORK IS TAKING PLACE TO PROTECT AGAINST ACCIDENTAL SPILLS/ACCIDENTS.

ROOF CORE:

SEE THE SPECIFICATIONS MANUAL FOR ASBESTOS TESTING INFORMATION.

CONSTRUCTION SAFEGUARDS:

CONSTRUCTION SAFEGUARDS: ALL CONSTRUCTION SAFETY, SITE PROTECTION, PROTECTION OF THE PUBLIC AND EMPLOYEES, PROTECTION OF EXISTING CONSTRUCTION AND ADJACENT CONSTRUCTION, ADHERENCE TO O.S.H.A. ALL APPLICABLE CODES, ETC. ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THIS NOTE IS NOT A COMPLETE LISTING OF ALL CONSTRUCTION SAFEGUARDS THAT THE CONTRACTOR IS RESPONSIBLE FOR. THE CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH ALL REQUIREMENTS FROM ALL GOVERNING AUTHORITIES AND ABIDING BY ALL REQUIREMENTS.

REFERENCES:
INTERNATIONAL EXISTING BUILDING CODE (IEBC) CURRENT ADDITION
INTERNATIONAL BUILDING CODE, CURRENT ADDITION
INTERNATIONAL FIRE CODE (IFC), CHAPTER 33

SOME OF THE REQUIREMENT LISTED IN THE ABOVE REFERENCED CODES ARE LISTED BELOW. HOWEVER, IT IS THE CONTRACTOR'S RESPONSIBILITY TO BE AWARE OF AND ADHERE TO ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS. ADDITIONALLY, THE CONTRACTOR MUST ABIDE BY ALL LOCAL REQUIREMENTS AND THE AUTHORITY HAVING JURISDICTION (A.H.J.) FOR EACH AND EVERY ONE OF THE GOVERNING AUTHORITIES. ALL QUESTIONS THAT THE CONTRACTOR HAS REGARDING INTERPRETATION AND/OR THE APPLICABILITY OF ANY AND ALL CONSTRUCTION SAFEGUARDS SHOULD BE DIRECTED TO AUTHORITY HAVING JURISDICTION FOR THE PARTICULAR GOVERNING AUTHORITY RESPONSIBLE FOR THE REQUIREMENT IN QUESTION.

IFC, CHAPTER 13 REQUIRES: A FIRE WATCH IS TO BE CONDUCTED IN ACCORDANCE WITH THE INTENTIONAL FIRE CODE AND AS APPROVED BY THE LOCAL AUTHORITY HAVING JURISDICTION WHEN CERTAIN CONDITIONS OR METHODS OF CONSTRUCTION EXIST. THE CONTRACTOR IS RESPONSIBLE FOR BEING AWARE OF AND ABIDING BY ALL SUCH REQUIREMENTS.

IEBC CHAPTER 15, CONSTRUCTION SAFEGUARDS SETS FORTH REQUIREMENTS FOR PROTECTING SAFETY AND PROTECTION OF PUBLIC/PRIVATE PROPERTIES. ALTHOUGH ALL WORKSITE SAFETY AND PROTECTION IS THE RESPONSIBILITY OF THE CONTRACTOR, THE SPECIFIC ITEMS LISTED IN IEBC (CHAPTER 15) ARE REQUIRED:

THE CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH AND ADHERING TO ALL OSHA STANDARDS FOR SCAFFOLDING, STAIR TOWERS AND SIMILAR STRUCTURES. ALTHOUGH ALL SUCH STRUCTURES MUST BE PROPERLY AND ADEQUATELY SUPPORTED, THE CONTRACTOR MUST OBTAIN PRIOR APPROVAL BEFORE ANCHORING TO THE BUILDING SO THAT THE METHOD OF ATTACHMENT AND REQUIRED REPAIR CAN BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

THIS PROJECT WILL TAKE PLACE ON BUILDING(S) ON THE CAMPUS OF THE MISSISSIPPI VALLEY STATE UNIVERSITY. THIS BUILDING WILL BE IN OPERATION DURING THE ENTIRE PROJECT. MANY OF THE INTERIOR SURFACES/FINISHES AND EQUIPMENT ARE PARTICULARLY SENSITIVE TO WATER. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROTECTING ALL INTERIOR FINISHES/EQUIPMENT AND WILL BE RESPONSIBLE FOR REPAIRING ANY DAMAGE FROM WEATHER RELATED EFFECTS CAUSED BY CONSTRUCTION ACTIVITIES.

THE CONTRACTOR IS RESPONSIBLE FOR BEING FAMILIAR WITH ALL RULES REGARDING THESE BUILDINGS. ALL OF THE FACILITY'S RULES ARE TO BE STRICTLY ADHERED TO BY THE CONTRACTOR AND ALL OF HIS EMPLOYEES FOR THE DURATION OF THE PROJECT.

ALL CONTRACTORS THAT ARE BIDDING THIS PROJECT ARE RESPONSIBLE FOR ATTENDING THE PRE-BID MEETING FOR A MORE COMPLETE DISCUSSION OF THE RULES THAT ALL CONTRACTORS AND EMPLOYEES WILL BE REQUIRED TO OBSERVE.

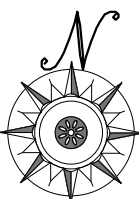
THIS BUILDING(S) WILL BE OCCUPIED DURING CONSTRUCTION. SCHEDULING OF THIS WORK WILL BE REQUIRED TO ACCOMMODATE THE OPERATIONAL NEEDS OF THE BUILDING OCCUPANTS. THIS MAY REQUIRE THE WORK TO BE CARRIED OUT IN PHASES. ALL PHASING WILL BE COORDINATED AT THE PRECONSTRUCTION MEETING AND SUBSEQUENT SITE AND/OR MONTHLY MEETINGS.

THE CONTRACTOR IS RESPONSIBLE FOR PROTECTING PERSONS, MOTOR VEHICLES, SURROUNDING SURFACES OF THE BUILDING BEING WORKED ON, BUILDING SITE, EXISTING UTILITIES, AND SURROUNDING BUILDINGS FROM DAMAGE RESULTING FROM ALL CONSTRUCTION ACTIVITIES. TEMPORARY PROTECTION AT ENTRIES AND PEDESTRIAN WALKWAYS WILL BE REQUIRED. ALL PROTECTION IS TO REMAIN IN PLACE DURING THE DURATION OF CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE BUILDING IN A WEATHERTIGHT CONDITION DURING ALL PHASES OF CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR ALL DAMAGE TO THE BUILDING, BUILDING INTERIOR AND CONTENTS OF THE BUILDING DUE TO FAILURE TO MAINTAIN WEATHERTIGHT CONDITIONS.

BLOCKING OR ALTERING ANY BUILDING ENTRIES, EXTERIOR WALKWAYS OR PARKING AREAS WILL REQUIRE COORDINATION WITH THE BUILDING OCCUPANTS. THE ARCHITECT'S OFFICE WILL ASSIST WITH THIS COORDINATION AND SUPPLY THE NAME OF A CONTACT PERSON FOR THIS AND ANY OTHER COORDINATION.

GENERAL NOTES:

1. AN ATTEMPT WAS MADE TO IDENTIFY ALL MAJOR EXISTING ROOF CONDITIONS. HOWEVER, ALL ROOF PENETRATIONS, PLUMBING STACKS, HOT STACKS, AND ROOF EQUIPMENT MAY NOT BE SHOWN. THEREFORE, THE CONTRACTOR IS EXPECTED TO BE FAMILIAR WITH ALL EXISTING CONSTRUCTION AND IDENTIFY THE SIZE, NUMBER AND USE OF ALL CONDITIONS ON THIS ROOF. FOR ANY CONDITION NOT SPECIFICALLY DETAILED, NEW CONSTRUCTION WILL BE IN STRICT COMPLIANCE WITH THE MANUFACTURER'S RECOMMENDATIONS FOR THAT PARTICULAR CONDITION. ALL WORK ASSOCIATED WITH PLUMBING OR MECHANICAL PENETRATIONS, CONNECTIONS AND EXTENSIONS ARE TO BE MADE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, MANUFACTURER'S REQUIREMENTS AND N.R.C.A.
2. THESE DRAWINGS WERE PREPARED USING THE ARCHITECT'S FIELD MEASUREMENTS AND EXISTING DRAWINGS NOT PRODUCED IN THIS OFFICE. THEREFORE, THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ANY EXISTING CONDITIONS AND DIMENSIONS IN QUESTION.
3. EXISTING STRUCTURAL INFORMATION WAS OBTAINED FROM EXISTING DRAWINGS, OBSERVATIONS, AND FROM THE OWNER AND SHOULD BE VERIFIED BY THE CONTRACTOR TO THE EXTENT THAT IT AFFECTS THE WORK.
4. MAKE ANY PLUMBING, MECHANICAL, AND EXHAUST VENT, ACCESS DOOR, ETC. ALTERATIONS PER LOCAL CODES AND THE NRCA STANDARDS (ALL PENETRATIONS ARE TO MEET THE MANUFACTURER'S RECOMMENDATIONS OF THE OBJECT BEING INSTALLED AND ARE TO BE IN STRICT COMPLIANCE WITH THE ROOF MANUFACTURER'S WARRANTY REQUIREMENTS). THERE ARE EXISTING VENTS ON THIS ROOF. SOME OF THESE VENTS ARE ON CURBS AND OTHERS ARE SIMPLE PENETRATIONS.
5. IN GENERAL, ALL PREPARATION OF MATERIALS TO RECEIVE THE NEW ROOF SYSTEM/COMPONENTS AND THE APPLICATION OF ALL NEW MATERIALS AND COMPONENTS IS TO BE AS RECOMMENDED BY N.R.C.A., THE ROOFING MANUFACTURER AND/OR THE COMPONENT MANUF. FOR THE EXISTING CONDITIONS.



PROJECT LOCATION AERIAL

Not To Scale

PROJECT LOCATION
Mississippi Valley State University
(Walter Sillers Fine Arts Center)
14000 US-82 Itta Bena, Mississippi 38941

Walter Sillers Fine Arts Center ReRoof
MISSISSIPPI VALLEY STATE UNIVERSITY

CONSTRUCTION DOCUMENTS BID SET

June 25, 2026

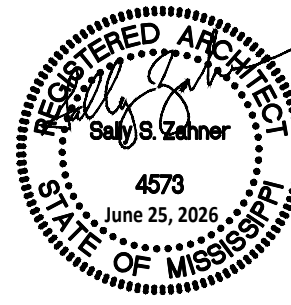
Mississippi Valley State University
1400 US-82
Itta Bena, Mississippi 38941

ARCHITECT:
SHAHER ZAHNER ZAHNER, PLLC
510 University Drive
Starkville, Mississippi 39759
P: 662-323-1628

INDEX OF DRAWINGS:

A00	COVER SHEET
A01	GENERAL, EXISTING, DEMOLITION AND NEW WORK NOTES
A10	ROOF PLAN - EXISTING/DEMOLITION
A15	ROOF PLAN - NEW WORK
A20	ROOF DETAILS - STANDARD
A21	ROOF DETAILS - STANDARD & DEMOLITION/NEW WORK
A22	ROOF DETAILS - DEMOLITION/NEW WORK

Walter Sillers Fine Arts Center ReRoof
Mississippi Valley State University



SHAHER
ZAHNER
ZAHNER

OFFICE OF ARCHITECTURE
510 UNIVERSITY DRIVE
STARKVILLE, MISSISSIPPI 39759
szarch.com T:(662) 323-1628

SHEET

A00

ALTERNATES:	
UNDER ALTERNATE #1:	
A.	PATCH, GRIND, CLEAN, PREP, PRIME & PAINT EXISTING CONCRETE MECHANICAL SCREENS. (DO NOT PAINT THE MASONRY/TERRA COTTA BLOCKS). SEE 2/A21 FOR ADDITIONAL INFORMATION.
B.	CLEAN, PREP AND INSTALL COATING ON 3 CONCRETE CANOPIES. SEE SHEET A10, A15 AND 4/A22 FOR ADDITIONAL INFORMATION.
C.	PROVIDE & INSTALL NEW DRAIN GUARD AT EXISTING CONCRETE CANOPIES. SEE PLANS AND DETAIL 4/ A22 FOR ADDITIONAL INFORMATION.

DATE: 6.25.2026
SZZARCH# 2603
DRAWN BY: rep
CHECKED BY: sc/sz

REVISIONS:

EXISTING/DEMOLITION ROOF PLAN GENERAL NOTES:	
1.	THE EXISTING/DEMOLITION ROOF PLAN AND ROOF DETAIL DRAWINGS FOR THIS BUILDING WERE DRAWN BASED ON ORIGINAL CONSTRUCTION DRAWINGS OBTAINED BY THIS OFFICE AND ON-SITE OBSERVATIONS. HOWEVER, SOME CONDITIONS MAY HAVE BEEN ALTERED DURING CONSTRUCTION. THEREFORE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ALL EXISTING ACTUAL CONDITIONS AND MAKE ANY NECESSARY ADJUSTMENTS TO THE DRAWINGS TO ACCOMPLISH THE ARCHITECT'S SCOPE OF WORK.
2.	PROTECT EXISTING ROOFTOP UNITS AND EQUIPMENT THAT ARE CURRENTLY IN USE AND ARE INTENDED TO REMAIN. THE CONTRACTOR IS TO BRING TO THE ATTENTION OF THE OWNER/ARCHITECT ANY EQUIPMENT OR ITEMS THAT APPEAR TO BE ABANDONED ALONG WITH ANY ITEMS THAT ARE SPECIFICALLY NOTED TO BE REMOVED). ANY SUCH EQUIPMENT/ITEMS ARE TO BE REMOVED BY THE CONTRACTOR PRIOR TO REROOFING. PROPERLY TERMINATE, DISCONNECT AND REMOVE ACCOMPANYING UTILITY LINES, CONDUIT, PITCH POCKETS, ETC. REMOVE THE UNIT AND ALL ASSOCIATED MATERIALS INCLUDING MOUNTING PADS DOWN TO THE DECK. INFILL ANY EXISTING ROOF DECK PENETRATIONS (SEE DETAILS). FOR UNITS DETERMINED TO REMAIN, INSTALL ADDITIONAL P.T. 2X'S AS NECESSARY TO RAISE THE CURB TO THE HEIGHT RECOMMENDED BY THE ROOF SYSTEM MANUFACTURER FOR THE EXISTING CONDITIONS AND NEW ROOF/INSULATION SYSTEM. PREPARE EXPOSED SURFACES OF EXISTING ROOFTOP UNITS FOR PAINTING.
3.	PROTECT ALL EXISTING DRAIN LINES AND DOWNSPOUTS SERVING THE EXISTING ROOF DRAINS. BEFORE DEMOLITION BEGINS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL EXISTING DRAIN LINES ARE CLEAR AND DRAINING PROPERLY. IF ANY PROBLEMS EXIST, THEY SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTION. OTHERWISE, IT WILL BE ASSUMED THAT THE DRAIN LINES ARE FULLY OPERATIONAL AND THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL DRAIN LINES DURING CONSTRUCTION UNTIL THE ROOF IS ACCEPTED BY THE OWNER.
4.	PROTECT ALL EXISTING THRU-ROOF PENETRATION COMPONENTS THAT ARE TO REMAIN. EXTEND AND/OR ALTER THESE COMPONENTS AS NECESSARY TO THE ROOFING MANUFACTURER'S RECOMMENDATION FOR PROPER HEIGHT ABOVE NEW ROOF SURFACE FOR THE GIVEN CONDITION.
5.	ADDITIONAL ROOFTOP ITEMS MAY NOT BE SHOWN. MAKE ALL THE CHANGES TO SIMILAR ITEMS THAT ARE NOT SPECIFICALLY SHOWN AS INDICATED ABOVE AND/OR AS RECOMMENDED BY THE MANUFACTURER.
6.	ACTUAL CONDITIONS MAY VARY FROM DRAWING. CONTRACTOR TO FIELD VERIFY ALL CONDITIONS AND MAKE NECESSARY ADJUSTMENTS TO HIS/HER BID AND CONSTRUCTION METHODS/MATERIALS.
7.	ANY MOVEMENT OR ALTERATION OF EQUIPMENT THAT MAY EXIST ON THE ROOF, SUCH AS SECURITY CAMERAS, LIGHT FIXTURES, LIGHTNING PROTECTION SYSTEMS, ETC. MUST BE COORDINATED WITH THE OWNER. THIS INCLUDES ALL COMPONENTS SUCH AS STANDS, MOUNTING BRACKETS, ANTENNAS, CABLING, MECHANICAL UNITS, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL ALTERATIONS AS NECESSARY TO PROPERLY HANDLE AND REINSTALL ALL SUCH EQUIPMENT.
8.	PROTECT ALL EXISTING VTR'S (VENT-THRU-ROOF'S), EFU'S (EXHAUST FAN UNITS) AND HEAT STACKS CURRENTLY IN USE. THE CONTRACTOR IS TO IDENTIFY THOSE NO LONGER IN USE AND REMOVE. REMOVE EXISTING FLASHING AT ALL PENETRATIONS AND PREPARE ALL SURFACES TO ACCEPT NEW ROOF FLASHING PER MANUFACTURER'S REQUIREMENTS FOR GIVEN CONDITION. ALTER AS NECESSARY TO MAINTAIN 8" MIN. DISTANCE FROM TOP OF NEW ROOFING SURFACE TO TOP OF VTR OR BOTTOM OF EFU.
* IN GENERAL, ALL ITEMS, REMAINING SURFACES, MATERIALS, ETC. THAT ARE REMAINING AFTER DEMOLITION ARE TO BE PREPARED AS NECESSARY TO RECEIVE THE NEW WORK. REFER TO THE NEW DETAILS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR REQUIREMENTS. IN SEVERAL CASES ITEMS ARE SHOWN AS BEING "ASSUMED" OR "UNKNOWN". THESE ARE LISTED THIS WAY BECAUSE THEY APPEAR ON EXISTING DRAWINGS OR BECAUSE A PORTION OF THE DETAIL IS VISIBLE AND THE REMAINDER HAD TO BE ASSUMED. IN ALL OF THESE CASES THE CONTRACTOR SHALL ALLOW FOR VARIATIONS IN CONSTRUCTION AND ADJUST THE DETAILS OF NEW WORK ACCORDINGLY. THE CONTRACTOR IS TO VERIFY ROOF SLOPES TO THE EXTENT THAT THEY AFFECT THE WORK AND MAKE ANY NECESSARY ADJUSTMENTS TO THE WORK.	
* THE MECHANICAL PENETRATIONS (HVAC EQUIPMENT, VENTS, EXHAUST VENTS) MAY BE CURB MOUNTED OR MAY BE SIMPLE PENETRATIONS. IN GENERAL, CURB MOUNTED EQUIPMENT IS TO HAVE A 8" MINIMUM FLASHING HEIGHT (ALUMINUM CLAD WALL FLASHING), TERMINATION BAR AND PRE-FINISHED METAL COUNTERFLASHING. IN SOME CASES, CURB MOUNTED PENETRATIONS MAY HAVE AN INTEGRAL FLASHING FLANGE THAT CAN BE UTILIZED. IN GENERAL, SIMPLE PENETRATIONS CAN BE FLASHED WITH THE MANUFACTURER'S FLUID APPLIED FLASHING SYSTEM. ALL FLUID APPLIED FLASHING IS EITHER TO BE COATED WITH SILVER ALUMINATION PAINT OR DRESSED WITH GRANULES MATCHING THE ROOFING SHEETS. THE CONTRACTOR IS TO COORDINATE WITH EXISTING CONDITIONS AND MEET ALL MANUFACTURER'S RECOMMENDATIONS FOR THE EXISTING CONDITIONS.	
* PROTECT ALL ALL MECHANICAL/ELECTRICAL CONNECTIONS AND EXPOSED DUCTWORK DURING DEMOLITION AND NEW ROOF INSTALLATION. ANY JOINTS THAT ARE DISTURBED ARE TO BE RESEALED SO THAT ALL JOINT ARE WEATHERTIGHT AND THERE IS NO AIR LOSS.	
* ALL ROOF AREAS TO BE RE-ROOFED: REMOVE EXISTING ROOFING SYSTEM(S), INSULATION, FLASHING, AND ALL ACCESSORIES DOWN TO THE EXISTING ROOF DECK. SEE EXISTING/DEMOLITION NOTES AND DETAILS FOR ADDITIONAL INFORMATION. CLEAN AND PREPARE ROOF DECK SURFACES, PARAPET WALLS, AND ALL EXISTING EQUIPMENT, OBJECTS, AND SURFACES FOR THE NEW ROOFING SYSTEM/NEW WORK. COORDINATE ALL DEMOLITION AND PREPARATION WITH THE ROOFING SYSTEM REQUIREMENTS, THE NEW MECHANICAL EQUIPMENT REQUIREMENTS AND THE NEW ROOF DRAWINGS AND NOTES. SEE DETAILS, NOTES AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.	

EXISTING/DEMOLITION NOTES:	DENOTED BY:
*THESE DRAWINGS WERE BASED ON INFORMATION FROM ON-SITE OBSERVATION. SEE ANY ROOF CORE DATA FOR ADDITIONAL INFORMATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY ACTUAL ROOF COMPOSITIONS AND CONTACT THE ARCHITECT'S OFFICE WITH ANY DISCREPANCIES PRIOR TO SCHEDULED BID OPENINGS. THIS LIST IS NOT INTENDED TO BE A COMPLETE LIST OF ALL CONDITIONS ON EACH ROOF SECTION. THIS IS SIMPLY A LIST OF OBSERVED CONDITIONS AND THE METHOD WHICH THEY ARE TO BE ADDRESSED. WHERE THESE CONDITIONS (OR SIMILAR CONDITIONS) EXIST AT ANY LOCATION ON ANY ROOF AREA, IT IS TO BE ADDRESSED AS DESCRIBED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLOSELY INSPECT THE ROOF TO VERIFY THESE AND ALL OTHER EXISTING CONDITIONS ON THE ROOF AND ACCOMMODATE ALL CONDITIONS DURING RE-ROOFING.	
D-1 EXISTING ROOF: REMOVE EXISTING ROOFING SYSTEM(S) AND ALL ASSOCIATED ACCESSORIES. GENERALLY, REMOVE ROOF SYSTEM AND ALL COMPONENTS DOWN TO THE EXISTING DECK. SEE ROOF PLANS - EXISTING/DEMOLITION AND DETAILS FOR ADDITIONAL INFORMATION. PROTECT, CLEAN, AND PREPARE EXPOSED SUBSTRATE FOR NEW WORK. D-2 PERIMETER EDGES (AND OPENINGS): REMOVE EXISTING MEMBRANE FLASHING, METAL FLASHING, SHEET METAL, TERMINATION BAR, WOOD BLOCKING & FASCIA, SOFFIT BOARDS, FASTENERS, ANCHORS, NAILS & SCREWS, ADHESIVES & SEALANTS. PROTECT, CLEAN AND PREPARE ALL SURFACES THAT ARE TO REMAIN FOR NEW ROOFING SYSTEM AND FLASHING. SEE ROOF PLANS AND DETAILS FOR ADDITIONAL INFORMATION. D-3 MISCELLANEOUS ITEMS: REMOVE EXISTING PITCH/FLASHING FROM EXISTING CONDENSATE LINES AT WALLS AND ROOFS. CLEAN AND PREP LINES TO RECEIVE NEW COLD LIQUID APPLIED FLASHING AT ROOF AND WALL. PROTECT THESE LINES DURING ALL CONSTRUCTION ACTIVITIES. D-4 EXISTING ROOF EQUIPMENT/PENETRATIONS: PROTECT THE EXISTING ROOF DECK, EQUIPMENT, MATERIALS, OBJECTS THAT ARE TO REMAIN. AT ALL ROOFS, REMOVE EXISTING PENETRATION FLASHING, BLOCKING, ETC. EXTEND EXISTING CURBS, PIPING, ETC AS REQUIRED TO ACHIEVE THE ROOFING MANUFACTURER'S RECOMMENDATION FOR PROPER FLASHING HEIGHT ABOVE NEW ROOF SURFACE FOR THE GIVEN CONDITION. CLEAN AND PREP PENETRATION FOR NEW FLASHING. COORDINATE WITH NEW WORK DETAILS. REMOVE & REPLACE ALL EXISTING PVC CONDENSATE LINES. D-5 WALL BASE: REMOVE EXISTING MEMBRANE BASE & WALL FLASHING SYSTEM AND ALL ACCOMPANYING ACCESSORIES SUCH AS WOOD BLOCKING, CANT STRIPS, TERMINATION BARS, ETC. REMOVE ANY AND ALL ANCHORS, HANGERS, SCREWS, NAILS, ETC. NO LONGER IN PROTECT, CLEAN AND PREPARE ALL SURFACES FOR INSTALLATION OF NEW ROOFING SYSTEM. SEE ROOF PLAN AND DETAILS FOR ADDITIONAL INFORMATION. D-6 ROOF HATCH/SCUTTLE: REMOVE EXISTING ROOF HATCH IN ITS ENTIRETY. CLEAN AND PREP AREA FOR NEW ROOF HATCH. SEE NEW WORK DETAIL SHEET A20 FOR ADDITIONAL INFORMATION. CONTRACTOR TO F.V. AND DOCUMENT EXISTING CONDITIONS AND DIMENSIONS. D-7 PAINT ALL EXPOSED STEEL: SAND, GRIND, CLEAN, PREP, PRIME & PAINT ALL EXPOSED FERROUS STEEL, (IRON GALVANIZED STEEL). D-8 PITCH POCKET: REMOVE EXISTING PITCH POCKET (PP) AND PROTECT ROOF PENETRATION. CLEAN AND PREPARE ADJACENT SURFACES FOR NEW WORK. SEE NEW ROOF PLAN AND DETAILS FOR ADDITIONAL INFORMATION. D-9 EXISTING GUTTERS & DOWNSPOUTS: VERIFY, DOCUMENT AND REMOVE EXISTING GUTTERS & DOWNSPOUTS AND ALL ASSOCIATED FLASHINGS, ATTACHMENTS/ANCHORS, METAL SPLASH PANS & CONCRETE SPLASH BLOCKS. CLEAN AND PREP EXISTING SURFACES TO REMAIN FOR THE NEW WORK. D-10 EXISTING MECHANICAL SCREEN: PROTECT EXISTING CONCRETE AND MASONRY MECHANICAL SCREEN ENCLOSURE AND EXISTING EQUIPMENT, PIPING, ETC. SEE ALTERNATE #1 FOR ADDITIONAL INFORMATION. D-11: EXISTING ENTRY CANOPIES: PROTECT THE EXISTING CONCRETE ROOF ENTRY CANOPIES DURING ALL PHASES OF WORK. SEE ALTERNATE #1 FOR ADDITIONAL INFORMATION FOR ROOF CANOPIES.	

DEMOLITION, GENERAL AND NEW WORK NOTES:
THESE NOTES AND THE NOTES ON SHEET A000 ARE TO BE USED IN CONJUNCTION WITH ALL SHEETS, (PLANS, DETAILS & NOTES). NOT ALL NOTES WILL APPLY TO ALL DETAILS. THE KEYED NOTES INDICATE SPECIFIC CONDITIONS AND REQUIREMENTS THAT MAY NOT BE EXPLICITLY INDICATED ON EACH INDIVIDUAL DETAIL. SEE ALL NOTES ON ALL DRAWING SHEETS AND THE ASSOCIATED SPECIFICATIONS AND APPROPRIATE MANUFACTURER'S RECOMMENDATIONS/REQUIREMENTS FOR ADDITIONAL INFORMATION AND REQUIREMENTS FOR THIS PROJECT.
THE DETAILS ARE TO BE USED IN CONJUNCTION WITH ALL SPECIFIC AND GENERAL NOTES. THE KEYED NOTES ON THESE SHEETS INDICATE SPECIFIC CONDITIONS AND REQUIREMENTS THAT MAY NOT BE EXPLICITLY INDICATED ON EACH INDIVIDUAL DETAIL. VARIOUS GENERAL NOTES FOR MORE TYPICAL CONDITIONS ALSO PROVIDE ADDITIONAL WORK REQUIREMENTS THAT APPLY TO THESE DETAILS AND THE PLAN DRAWINGS. SEE ALL NOTES ON ALL DRAWING SHEETS AND THE ASSOCIATED SPECIFICATIONS FOR ADDITIONAL INFORMATION AND ADDITIONAL REQUIREMENTS FOR THIS PROJECT.
ALL ROOF AREAS TO BE RE-ROOFED: THE CONTRACTOR SHALL ONLY REMOVE PORTION OF ROOF THAT CAN BE REPLACED DURING THE SAME WORK DAY. THE EXISTING BUILDINGS SHALL BE MAINTAINED WEATHER TIGHT AND SECURE DURING ALL PHASES OF WORK. TYPICAL REMOVE EXISTING ROOFING SYSTEM(S), INSULATION, FLASHING, AND ALL ACCESSORIES DOWN TO THE EXISTING DECK. SEE EXISTING/DEMOLITION NOTES AND DETAILS FOR ADDITIONAL INFORMATION. CLEAN AND PREPARE ROOF DECK SURFACES, PARAPET WALLS, AND ALL EXISTING EQUIPMENT, OBJECTS, AND SURFACES FOR THE NEW ROOFING SYSTEM. COORDINATE ALL DEMOLITION AND PREPARATION WITH THE ROOFING SYSTEM REQUIREMENTS, THE NEW ROOF DRAWINGS, AND NOTES.
EXISTING ROOF DECK NOTE: THE EXISTING DECK INFORMATION WAS TAKEN FROM ON SITE CORE SAMPLES. IN SOME LOCATIONS, THERE WAS NO INFORMATION AVAILABLE AND THE EXISTING CONDITIONS ARE ASSUMED. THE INSULATION SYSTEM IS BASED ON THE CORE SAMPLES OR ASSUMED IN THE DETAILS. A NEW 1/8" TAPERED INSULATION SYSTEM IS TO BE INSTALLED. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSION AND TO ADJUST HIS WORK AS NEEDED TO COMPLETE THE SCOPE OF WORK AND CREATE A WEATHER / WATER TIGHT CONDITION AT ALL ROOFS TO RECEIVE THE NEW WORK.
SLOPE NOTE: INFORMATION ON THE SLOPE OF THESE ROOFS COMES FROM SITE OBSERVATIONS AND ROOF CORE INFORMATION. THESE DRAWINGS SHOW GENERAL SLOPE ARROWS WHICH ARE INDICATED ON THE EXISTING/DEMOLITION PLAN. THE CONTRACTOR IS TO VERIFY EXISTING SLOPE CONDITIONS IN THE FIELD AND BRING ANY DISCREPANCIES THAT AFFECT THE NEW WORK TO THE ATTENTION OF THE OWNER/ARCHITECT PRIOR TO BIDDING.
PROTECTION OF EXISTING OBJECTS/MATERIALS: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL COMPONENTS OF THE BUILDING AND SITE FROM DAMAGE. IN PARTICULAR, ALL CAST STONE PARAPETS, SPECIAL FINISHES, ETC. MUST BE PROTECTED FROM DAMAGE AND BLEMISHES DUE TO CONSTRUCTION ACTIVITIES AND MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR HAVING PROTECTION IN PLACE AT ALL TIMES. IN PARTICULAR, BUILDING SURFACES SHALL BE PROTECTED AT THE LOCATIONS WHERE MATERIALS ARE BEING LOADED ONTO THE ROOF AND ROOF EDGES WHERE WORK IS TAKING PLACE TO PROTECT AGAINST SPILLS/ACCIDENTS.
SITE PROTECTION NOTE: CONTRACTOR TO PROTECT EXISTING SITE DURING ALL PHASES OF WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING / REPLACING ANY DAMAGED SITE ITEMS THAT MAY OCCUR DURING CONSTRUCTION. SITE ITEM INCLUDE BUT ARE NOT LIMITED TO: PAVING, PARKING AREAS, CONCRETE, SIDEWALKS, GRASS AREAS, TREES, SHRUBS, LANDSCAPING, SCREEN WALLS, MECHANICAL/PLUMBING/ELECTRICAL EQUIPMENT, CANOPIES, ETC. CONTRACTOR SHALL PROTECT THE EXISTING BUILDINGS AND MAINTAIN A WEATHER/WATER TIGHT CONDITION AT ALL TIMES. SEE NOTES ON SHEET A000 FOR ADDITIONAL INFORMATION.
FLUID APPLIED FLASHING NOTE: INSTALL THE MFR'S FLUID APPLIED FLASHING SYSTEM TO PROVIDE A WEATHER/WATER TIGHT CONDITION. THE FLUID APPLIED SYSTEM IS TO BE MASKED OFF AT ALL AREAS TO CREATE A NEAT/ CLEAN TRANSITION AT THE EDGES. ALL FLUID APPLIED FLASHING IS TO BE FINISHED WITH GRANULES WHERE IT IS ADJACENT TO GRANULAR SURFACED CAP SHEET OR WITH SILVER ALUMINATION COATING, (EQ TO TREMCO ALUMINATION 301), WHERE IT IS ADJACENT TO FOIL FACED WALL FLASHING. ALL FLASHINGS, COUNTER FLASHING, ETC. MUST ALSO BE INSTALLED AS INDICATED IN ADDITION TO THE FLUID APPLIED FLASHING SYSTEM. IN ALL CONDITIONS, DO NOT COVER EXISTING WEEP DRAINAGE THROUGH EXISTING WALLS.
ROOF PLAN DIMENSIONS NOTE: THESE DRAWINGS WERE DEVELOPED USING FIELD MEASUREMENTS, DRONE INFORMATION AND GOOGLE EARTH. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS. ALL DIMENSIONS SHOULD OTHERWISE BE READ AS ±. SEE SHEET A100 FOR DIMENSIONS.

ALTERNATES:
UNDER ALTERNATE #1: A. PATCH, GRIND, CLEAN, PREP, PRIME & PAINT EXISTING CONCRETE MECHANICAL SCREENS. (DO NOT PAINT THE MASONRY/TERRA COTTA BLOCKS). SEE 2/A21 FOR ADDITIONAL INFORMATION. B. CLEAN, PREP AND INSTALL COATING ON 3 CONCRETE CANOPIES. SEE SHEET A10, A15 AND 4/A22 FOR ADDITIONAL INFORMATION. C. PROVIDE & INSTALL NEW DRAIN GUARD AT EXISTING CONCRETE CANOPIES. SEE PLANS AND DETAIL 4/ A22 FOR ADDITIONAL INFORMATION.
NEW COATING @ EXISTING CANOPIES NOTES: ALL WORK TO THE 3 EXISTING CANOPIES UNDER ALTERNATE #1. 1. EXISTING CONCRETE CANOPY: CLEAN, PATCH & REPAIR EXISTING CONCRETE CANOPY. PREP THE EXISTING SKYWARD FACING SURFACES FOR NEW 3-PART LIQUID APPLIED TEXTURED ROOF COATING. 2. CANOPY ROOF DRAINS: CLEAN EXISTING DRAINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING DRAINS ARE CLEAR & PROPERLY FUNCTIONING AND TO MAINTAIN DRAINS UNTIL THE OWNER ACCEPTS THE WORK. PROVIDE & INSTALL NEW STAINLESS STEEL DRAIN GUARD EQ TO "GUTTER GUARD 2" (VERIFY DRAIN DIMENSIONS), 304 STAINLESS STEEL FILTER STRAINER" BY OYLIGHT. INSTALL AT EACH EXISTING ROOF DRAIN. 3. EXISTING CONCRETE CANOPY NEW ROOF COATING: NEATLY MASK OFF AT EDGES OF CANOPY OR CANOPY CURB FOR A NEAT EDGE OF ROOF COATING, TYP ALL SIDES. INSTALL PRIMER & 3-PART LIQUID APPLIED POLYMERIC ROOF MEMBRANE AND TEXTURED FINISH COAT OVER THE EXISTING CONCRETE CANOPY. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

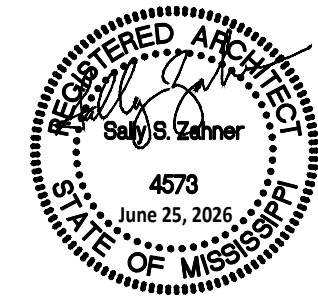
GENERAL DETAIL NOTE: ALL ITEMS, REMAINING SURFACES, MATERIALS, ETC. THAT ARE REMAINING AFTER DEMOLITION ARE TO BE PREPARED AS NECESSARY TO RECEIVE THE NEW WORK. REFER TO THE NEW DETAILS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR REQUIREMENTS. IN SEVERAL CASES ITEMS ARE SHOWN AS BEING "ASSUMED" OR "UNKNOWN". THESE ARE LISTED THIS WAY BECAUSE THEY APPEAR ON EXISTING DRAWINGS OR BECAUSE A PORTION OF THE DETAIL IS VISIBLE AND THE REMAINDER HAD TO BE ASSUMED. IN ALL OF THESE CASES THE CONTRACTOR SHALL ALLOW FOR VARIATIONS IN CONSTRUCTION AND ADJUST THE DETAILS OF NEW WORK ACCORDINGLY. THE CONTRACTOR IS TO VERIFY ROOF SLOPES TO THE EXTENT THAT THEY AFFECT THE WORK AND MAKE ANY NECESSARY ADJUSTMENTS TO THE WORK.

WHERE FLUID APPLIED FLASHING IS SPECIFIED:
* AFTER APPLYING SEALANT TO ALL JOINTS, APPLY ALSAN REINFORCED FLUID FLASHING SYSTEM (OR APPROVED EQUAL). VERIFY PRIOR TO APPLICATION THAT THE LIQUID FLASHING IS COMPATIBLE WITH THE TEMPERATURE RANGE. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR REINFORCEMENT PLACEMENT. PAY PARTICULAR ATTENTION TO REINFORCING ALL JOINTS, EDGES, AND TRANSITIONS. EXTEND THE LIQUID FLASHING THE FULL HEIGHT OF THE VERTICAL SUPPORT UP TO THE HORIZONTAL SUPPORTS. PREPARE ALL SURFACES AS RECOMMENDED. *MASK OFF THE TOP EDGE TO CREATE A CLEAN, NEAT EDGE AND TO PROTECT REMAINING COMPONENTS FROM ANY OF THE LIQUID FLASHING. *COAT THE CURED LIQUID FLASHING WITH SILVER ALUMINATION PAINT PRIOR TO REMOVING THE MASKING FOR A NICELY FINISHED SURFACE AND TO PROTECT THE LIQUID FLASHING.

PREPARATION OF MATERIALS NOTE: IN GENERAL, ALL ITEMS, REMAINING SURFACES, MATERIALS, ETC. THAT ARE REMAINING AFTER DEMOLITION ARE TO BE PREPARED AS NECESSARY TO RECEIVE THE NEW WORK. REFER TO THE NEW DETAILS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR REQUIREMENTS. IN SEVERAL CASES ITEMS ARE SHOWN AS BEING "ASSUMED" OR "UNKNOWN". THESE ARE LISTED THIS WAY BECAUSE THEY APPEAR ON EXISTING DRAWINGS OR BECAUSE A PORTION OF THE DETAIL IS VISIBLE AND THE REMAINDER HAD TO BE ASSUMED. IN ALL OF THESE CASES THE CONTRACTOR SHALL ALLOW FOR VARIATIONS IN CONSTRUCTION AND ADJUST THE DETAILS OF NEW WORK ACCORDINGLY. THE CONTRACTOR IS TO VERIFY ROOF SLOPES TO THE EXTENT THAT THEY AFFECT THE WORK AND MAKE ANY NECESSARY ADJUSTMENTS TO THE WORK.

GENERAL DRAWING NOTES:
THESE DRAWINGS WERE DEVELOPED USING FIELD MEASUREMENTS AND EXISTING/ORIGINAL DRAWINGS. ALL DIMENSIONS SHOULD BE VERIFIED BY THE CONTRACTOR AND SHOULD OTHERWISE BE READ AS ±.
ALL MECHANICAL EQUIPMENT THAT IS SHOWN ON THESE ROOFS IS EXISTING AND APPEARS TO BE SIMILAR IN MOST ROOF AREAS. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING EXISTING CONDITIONS AND ADJUSTING CONSTRUCTION AS NECESSARY TO ACCOMMODATE THE NEW ROOF CONSTRUCTION. CRICKETS ARE TO BE INSTALLED ON THE "UPHILL" SIDE OF ALL MECHANICAL EQUIPMENT.
PROTECT ALL EXISTING WIRING AND CABLING FROM DAMAGE DUE TO CONSTRUCTION ACTIVITIES. THE CONTRACTOR IS RESPONSIBLE FOR TEMPORARILY RELOCATING ANY WIRING TO ACCOMMODATE CONSTRUCTION ACTIVITIES. IT MAY BE NECESSARY TO TEMPORARILY DISCONNECT EXISTING ROOFTOP EQUIPMENT UTILITY LINES IN ORDER TO PERFORM WORK AS REQUIRED. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISCONNECTING, PROTECTING AND RECONNECTING ALL SUCH EQUIPMENT. COORDINATE WITH THE LOCAL SERVICE/UTILITY PROVIDER IF NECESSARY. IF ANY UTILITIES ARE TEMPORARILY INTERRUPTED, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE INTERRUPTIONS WITH THE OWNER AND THE BUILDING OCCUPANTS SO THAT THE SERVICES ARE NOT UNEXPECTEDLY DISRUPTED. PROTECT ALL EXISTING COMPONENTS AND REPLACE ANY THAT ARE DAMAGED DURING CONSTRUCTION.
INSULATION LAY-OUT(S) ARE ESTABLISHED FOR PLANNING PURPOSES IN ORDER TO ESTIMATE INSULATION THICKNESS, ETC. THERE MAY BE MULTIPLE POSSIBLE LAY-OUTS. NEW CRICKETS WILL BE REQUIRED AS NECESSARY TO MAINTAIN POSITIVE WATER FLOW TO DRAINS AND/OR SCUPPERS/DOWNSPOUTS, AND AWAY FROM BUILDING AND PARAPET THE CRICKET DESIGN MUST BE ALTERED TO ACCOMMODATE EXISTING GEOMETRY AND NOT INTERFERE WITH OVERFLOW SCUPPERS, WEEP HOLES, THROUGH-WALL FLASHING, ETC. THIS MAY REQUIRE SOME ALTERING OF THE INSULATION AT SOME LOCATIONS. THE ACTUAL TAPER LAY-OUT WILL BE ESTABLISHED BY THE SUPPLIER AND APPROVED WHEN THE SHOP DRAWINGS ARE SUBMITTED DURING THE CONSTRUCTION PHASE.
PROTECT ALL CAMERAS, ANTENNAS, SATELLITE DISHES, ETC. DURING CONSTRUCTION. PROPERLY INSTALL FLASHING FOR ALL ITEMS THAT PENETRATE THE ROOF. COORDINATE ANY TEMPORARY RELOCATION AND REALIGNMENT OF ANY COMPONENTS WITH THE OWNER. PROPER PRIOR NOTICE TO THE OWNER IS REQUIRED FOR ANY WORK THAT MAY CAUSE ALTERATIONS AND/OR INTERRUPTIONS IN ANY SERVICE.
THE LOCATIONS OF ALL ROOFTOP EQUIPMENT/ITEMS IS SHOWN AS INDICATED ON THE ORIGINAL DRAWINGS (THICKNESS, ETC. THERE MAY BE MULTIPLE POSSIBLE LAY-OUTS). THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING ALL ITEMS AS NECESSARY FOR PROPER ROOF INSULATION DESIGN. THE ACTUAL DESIGN SHALL BE INDICATED ON THE CONTRACTOR'S SHOP DRAWINGS.
WALKWAY PAD IS TO BE INSTALLED AS INDICATED. THE CONTRACTOR MUST ALSO INSTALL WALKWAY PAD MATERIAL UNDER ALL SURFACE MOUNTED OBJECTS THAT REST ON THE SURFACE OF THE ROOF. THIS WALKWAY PAD IS TO BE ADHERED TO THE CAP SHEET.
THE EXACT LOCATION OF EXISTING DOWNSPOUTS (D.S.) VARY FROM ROOF TO ROOF. AN ATTEMPT WAS MADE BY THE ARCHITECT TO LOCATE ALL EXISTING DOWNSPOUTS; HOWEVER, ALL DOWNSPOUTS MAY NOT BE SHOWN. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING AND MARKING ALL EXISTING LOCATIONS AND INSTALL NEW DOWNSPOUTS AT ALL EXISTING LOCATIONS. MATCH THE SIZE OF ALL EXISTING DOWNSPOUTS.
EXISTING EXHAUST FANS (E.F.) ARE SHOWN AS OBSERVED. THESE FANS ARE TYPICALLY CURB MOUNTED. THE CONTRACTOR SHALL VERIFY THE NUMBER AND EXACT LOCATION OF EACH AND PROPERLY PREPARE THE CURB FOR NEW WORK. IT MAY BE NECESSARY TO TEMPORARILY DISCONNECT EXISTING ROOFTOP EQUIPMENT UTILITY LINES IN ORDER TO PERFORM WORK AS REQUIRED. THE CONTRACTOR WILL BE RESPONSIBLE FOR DISCONNECTING, PROTECTING AND RECONNECTING ALL SUCH EQUIPMENT. COORDINATE WITH THE LOCAL SERVICE/UTILITY PROVIDER IF NECESSARY. IF ANY UTILITIES ARE TEMPORARILY INTERRUPTED, THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THESE INTERRUPTIONS WITH THE OWNER AND THE BUILDING OCCUPANTS SO THAT THE SERVICES ARE NOT UNEXPECTEDLY DISRUPTED. PROTECT ALL EXISTING COMPONENTS AND REPLACE ANY THAT ARE DAMAGED DURING CONSTRUCTION. CRICKETS ARE TO BE INSTALLED ON THE "UPHILL" SIDE OF ALL MECHANICAL EQUIPMENT.
ALL OF THE INDICATED PLUMBING VENTS ARE EXISTING PLUMBING VENTS (V.T.R.) MAY NOT BE IDENTIFIED. THE CONTRACTOR SHALL COUNT ALL PENETRATIONS AND ALLOW FOR PROPER FLASHING OF EACH IN HIS SCOPE OF WORK.
PROPERLY FLASH ALL STAND PIPES (S.P.) PREPARE AND PAINT THE PIPE PORTION UP TO THE VALVE. DO NOT PAINT THE VALVE SO THAT IT'S OPERATION IS NOT AFFECTED.
INSTALL CRICKETS ON THE "UPHILL" SIDE OF ALL MECHANICAL EQUIPMENT AND IN ANY VALLEYS FOR PROPER DRAINAGE. NEW CRICKETS ARE TO BE INSTALLED IN ALL EXISTING CRICKET LOCATIONS. NEW CRICKETS ARE ALSO TO BE INSTALLED AT THE GUTTER END OF ALL PARAPET WALLS IN ORDER TO AID THE DRAINAGE INTO THE SCUPPERS. SEE DRAWINGS FOR ADDITIONAL INFORMATION.
INSTALL A NEW SPLASH PAN, WITH A SECTION OF WALKWAY PAD BENEATH, AT ANY DOWNSPOUT THAT DISCHARGES ONTO THE ROOF.
TOUCH UP PAINT ON ANY NEWLY EXPOSED EXTERIOR WALL DUE TO REMOVAL OF FASCIA, GUTTERS, DOWNSPOUTS, ETC. THE NEW PAINT IS TO MATCH THE EXISTING PAINT ON THE SURROUNDING AREA.

RENOVATION NOTES REGARDING CONDITIONS OBSERVED ON THIS ROOF:
THIS LIST IS NOT INTENDED TO BE A COMPLETE LIST OF ALL CONDITIONS ON EACH ROOF SECTION. THIS IS SIMPLY A LIST OF OBSERVED CONDITIONS AND THE METHOD WHICH THEY ARE TO BE ADDRESSED. WHERE THESE CONDITIONS (OR SIMILAR CONDITIONS) EXIST AT ANY LOCATION ON ANY ROOF AREA, IT IS TO BE ADDRESSED AS DESCRIBED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CLOSELY INSPECT THE ROOF TO VERIFY THESE AND ALL OTHER EXISTING CONDITIONS ON THE ROOF AND ACCOMMODATE ALL CONDITIONS DURING RE-ROOFING. ALL WORK IS TO BE PERFORMED IN COMPLIANCE WITH THESE DOCUMENTS, AS RECOMMENDED BY THE MANUFACTURER, AND AS NECESSARY TO ACHIEVE THE REQUIRED WARRANTY. SEE ALL DRAWINGS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.
1. NEW ROOFING SYSTEM NOTE: PROVIDE AND INSTALL NEW ROOFING SYSTEM ON EXISTING DECK AS INDICATED ON ROOF PLAN NEW WORK. PROVIDE AND INSTALL NEW MODIFIED BUTENUM ROOFING SYSTEM 1/2" RECOVERY BENEATH BASE SHEET, 1 1/2" NEW RIGID INSULATION SYSTEM OVER EXISTING ROOF DECK. F.V. ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO DEMOLITION. SEE ROOF PLAN NEW WORK AND DETAILS FOR ADDITIONAL INFORMATION.
2. COUNTER FLASHING NOTE: NEW COUNTER FLASHING IS TO BE INSTALLED ON ALL ROOF SECTIONS. INSTALL NEW PREFINISHED COUNTER FLASHING OVER ALL NEW TERMINATION BARS IN ALL SITUATIONS. THE COUNTER FLASHING IS NOT IN LIEU OF THE TERMINATION BAR, THE COUNTER FLASHING IS IN ADDITION TO THE TERMINATION BAR. SEE THE COUNTER FLASHING DETAILS FOR ADDITIONAL INFORMATION FOR VARIOUS CONDITIONS.
3. ROOF PENETRATION FLASHING HEIGHT NOTE: SOME VTR'S (SOIL STACKS), HOT STACKS, AND OTHER PENETRATIONS MAY NEED TO BE EXTENDED IN HEIGHT TO ACHIEVE THE PROPER FLASHING HEIGHT. ALL PENETRATIONS MUST BE EXTENDED IN A MANNER THAT IS SOUND AND STURDY AND CAN BE PROPERLY FLASHED. SEE DETAILS. AFTER VERIFYING EXISTING CONDITION, PROVIDE AND INSTALL DECK PATCHING AS REQUIRED AT ANY EXISTING UNUSED PENETRATION, SEE ROOF DECK PATCHING DETAILS. PROTECT ALL EXISTING ACTIVE ROOF PENETRATIONS. PROVIDE AND INSTALL NEW ROOF SYSTEM AND FLASHING/COLD LIQUID APPLIED FLASHING.
4. ROOF EDGE NOTE: PROVIDE AND INSTALL NEW MEMBRANE FLASHING, PREFINISHED METAL FLASHING/CAP FLASHING, WOOD BLOCKING, FASTENERS, ANCHORS, NAILS & SCREWS, ADHESIVES & SEALANTS. PROTECT AND CLEAN ALL SURFACES THAT ARE TO REMAIN FOR NEW ROOFING SYSTEM. SEE ROOF PLAN NEW WORK AND DETAILS FOR ADDITIONAL INFORMATION.
5. BASE OF WALL NOTE: PROVIDE AND INSTALL NEW MEMBRANE BASE & WALL FLASHING SYSTEM AND ALL ACCOMPANYING ACCESSORIES SUCH AS WOOD BLOCKING, CANT STRIPS, TERMINATION BARS, ETC. PROTECT AND CLEAN ALL REMAINING EXISTING SURFACES. SEE ROOF DETAILS NEW WORK FOR ADDITIONAL INFORMATION.
6. ROOF MOUNTED EQUIPMENT NOTE: ROOF MOUNTED MECHANICAL, ELECTRICAL, ETC. EXISTS. SOME OF THE EQUIPMENT IS SURFACE MOUNTED, CURB MOUNTED, OR RACK MOUNTED. ASSOCIATED WITH THESE UNITS ARE UTILITIES AND PENETRATIONS THROUGH THE ROOF. THE CONTRACTOR IS RESPONSIBLE FOR ALTERING THE UTILITIES AS NECESSARY TO ACCOMMODATE THE NEW ROOF SYSTEM CONDITIONS. THIS MAY REQUIRE RAISING/LOWERING THE UNIT OR TEMPORARILY RELOCATING THE UNIT SO THAT ROOF WORK CAN TAKE PLACE. IN ALL CASES, THE CONTRACTOR WILL BE RESPONSIBLE FOR ADJUSTING, MOVING, REROOFING, ETC. THE CONNECTIONS TO THIS EQUIPMENT TO ALLOW FOR THE ROOFING WORK AND ANY NECESSARY ALTERATIONS TO THE EQUIPMENT IT SERVES. ALL WORK IS TO BE PERFORMED BY PERSONS QUALIFIED TO PERFORM SUCH WORK. PROTECT ALL EQUIPMENT AND ALL ASSOCIATED COMPONENTS AND MAINTAIN THEIR OPERATION DURING ALL CONSTRUCTION ACTIVITIES. COORDINATE ANY NECESSARY TEMPORARY INTERRUPTIONS WITH THE OWNER PRIOR TO ALTERING ANY COMPONENTS OF ANY ROOF MOUNTED EQUIPMENT. ALL SURFACE MOUNTED OBJECTS ARE TO BE PLACED ON A PIECE OF WALKWAY PAD.
7. PITCH POCKET NOTE: PROVIDE AND INSTALL NEW COLD LIQUID APPLIED FLASHING AT ALL CONDUIT/UTILITY PIPING PENETRATIONS. PROVIDE AND INSTALL NEW UTILITY POCKET. PROTECT EXISTING ROOF PENETRATION. SEE ROOF PLAN NEW WORK. FOR ADDITIONAL INFORMATION, PROVIDE NEW INSULATION ON CONDENSATE/REFRIGERANT LINES AFTER NEW ROOF IS COMPLETE.
8. PRE FINISHED METAL CONDUCTOR HEADS AND DOWNSPOUTS NOTE: PROVIDE & INSTALL NEW PRE FINISHED METAL CONDUCTOR HEAD AND DOWNSPOUT ASSEMBLY. PROVIDE SEALANT AROUND PERIMETER OF NEW PRE-FIN FLASHING. PROVIDE AND INSTALL NEW CONC. SPLASH BLOCKS WHERE D.S. SPILL ONTO GRADE.
9. ROOF HATCH/SCUTTLE NOTE: CONTRACTOR TO VERIFY EXISTING ROOF HATCH OPENING & PROVIDE AND INSTALL NEW ROOF HATCH. NEW ROOF HATCH TO MATCH THE EXISTING REMOVED HATCH DIMENSIONS.
10. WALK PADS: INSTALL NEW WALK PADS AS INDICATED ON THE ROOF PLAN- NEW WORK. THE CONTRACTOR MUST ALSO INSTALL WALKWAY PAD MATERIAL UNDER ALL SURFACE MOUNTED OBJECTS THAT REST ON THE SURFACE OF THE ROOF. THIS WALKWAY PAD IS TO BE SET IN MASTIC - ADHERED TO THE CAP SHEET.
* CONTRACTOR SHALL TAKE CARE NOT TO COVER ANY EXISTING WEEP DRAINAGE AT ALL LOCATIONS.
* SEE ALTERNATE(S) FOR WORK TO CANOPIES.
*SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.
GENERAL DEMOLITION NOTE: REMOVE EXISTING ROOF SYSTEM DOWN TO EXISTING ROOF DECK. REMOVE ALL EXISTING FLASHINGS, CANTS, SEALANTS, ETC. REPLACE ANY DETERIORATED/ROTTED PERIMETER EDGE BLOCKING WITH NEW TREATED WOOD PRIOR TO INSTALLING NEW ROOFING MEMBRANE. NEW BLOCKING SHALL MATCH EXISTING DIMENSIONS AND SUFFICIENT HEIGHT NECESSARY TO MEET MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. CLEAN AND PREP REMAINING SURFACES TO RECEIVE NEW MODIFIED BUTENUM ROOFING SYSTEM AS SHOWN. PROTECT EXISTING ROOF PENETRATIONS TO REMAIN DURING ALL PHASES OF WORK.
NEW WALKWAY PADS NOTE: PROVIDE AND INSTALL NEW WALK PADS AS INDICATED. INSTALL A 5'-0" x 5'-0" WALKWAY PAD AT ALL ROOF ACCESS DOORS. THE CONTRACTOR MUST ALSO INSTALL WALKWAY PAD MATERIAL UNDER ALL SURFACE MOUNTED OBJECTS THAT REST ON THE SURFACE OF THE ROOF. THIS WALKWAY PAD IS TO BE ADHERED TO THE CAP SHEET. THE WALK PADS ARE NOT SHOWN ON THE ENLARGED PLANS FOR CLARITY. SEE SHEET A110, OVERALL ROOF PLAN- NEW WORK FOR WALKWAY PAD LAYOUT.



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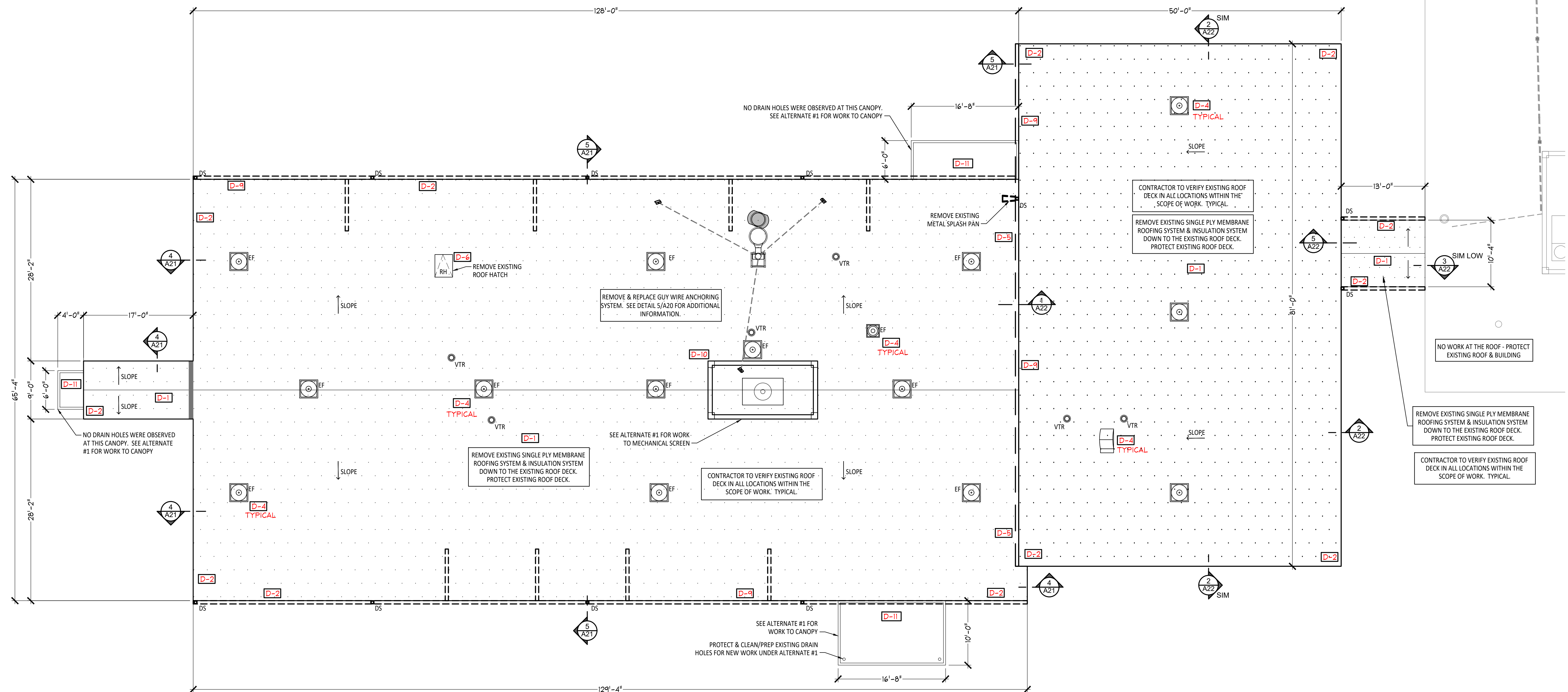
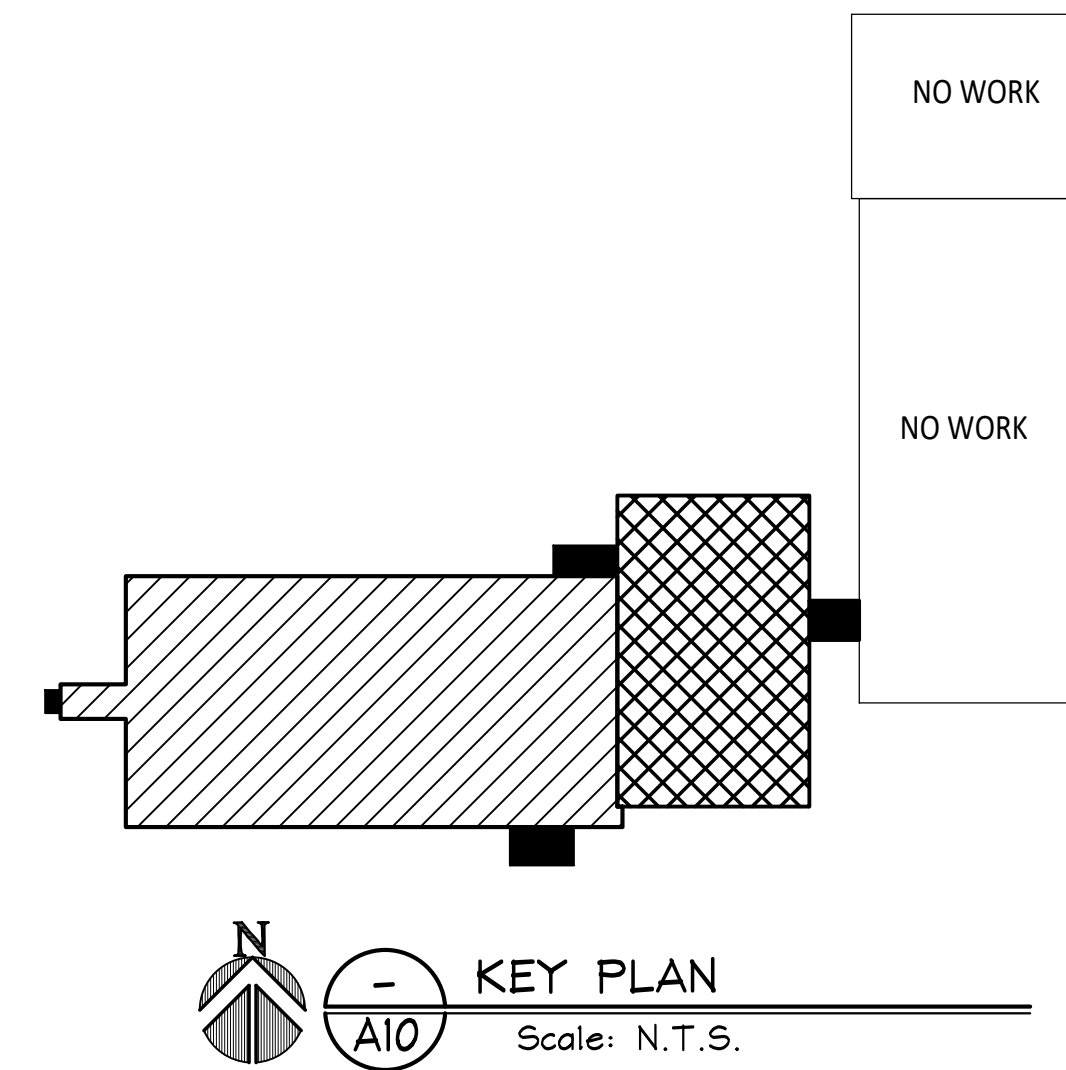
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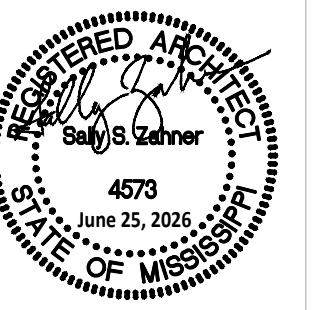
ALL WORK TO THE 3 EXISTING CANOPIES UNDER ALTERNATE #1.

1. **EXISTING CONCRETE CANOPY:** CLEAN, PATCH AND REPAIR EXISTING CONCRETE CANOPY. PREP THE EXISTING SKYWAY FACING SURFACES FOR NEW 3-PART LIQUID APPLIED TEXTURED ROOF COATING.
2. **CONCRETE ROOF DRAINAGE:** CLEAN EXISTING DRAINS. IF THE CONTRACTOR'S INSPECTION TO VERIFY ALL DRAINAGE DRAINS ARE CLEAR AND PROPERLY FUNCTIONING AND TO MAINTAIN DRAINS UNTIL THE OWNER AGREES TO THE WORK. PROVIDE & INSTALL NEW STAINLESS STEEL DRAIN GROUND FLAT TO "GUTTER GUARD", 2" (VERTICAL DRAIN DIMENSIONS), 304 STAINLESS STEEL "FLYTER STRAINER" BY (VERIFY). INSTALL EACH EXISTING ROOF DRAIN.
3. **EXISTING CONCRETE CANOPY:** CLEAN, PATCH AND REPAIR EXISTING CONCRETE CANOPY. PREP THE EXISTING SKYWAY FACING SURFACES FOR NEW 3-PART LIQUID APPLIED TEXTURED ROOF COATING. PREP THE EXISTING SKYWAY FACING SURFACES FOR NEW 3-PART LIQUID APPLIED TEXTURED ROOF COATING.

R.D.	= EXISTING ROOF DRAIN
D.S.	= DOWNSPOUT
E.F.	= EXHAUST FAN (CURB MOUNTED OR SIMPLE PENETRATION)
RH	= ROOF HATCH/SCUTTLE
SKY. LT.	= SKYLIGHT
C.U.	= CONDENSING UNIT
M.A.U.	= MAKE-UP AIR UNIT
R.T.U.	= ROOF TOP UNIT (MECHANICAL UNIT)
V.T.R.	= VENT THROUGH ROOF (PLUMBING STACK)
V.S.	= HOT STACK (HEATER/BOILER STACK/VENT)
S.P.	= STAND PIPE
CSB	= CONCRETE SPLASH BLOCK
MSP	= NEW METAL SPLASH PAN (SET IN MENTICA)
SAT.	= ANTENNA
SC	= EXISTING OVERTFLOW/DRAINAGE SCUPPER
E.J.	= EXPANSION JOINT



Walter Sillers Fine Arts Center ReRoof
Mississippi Valley State University



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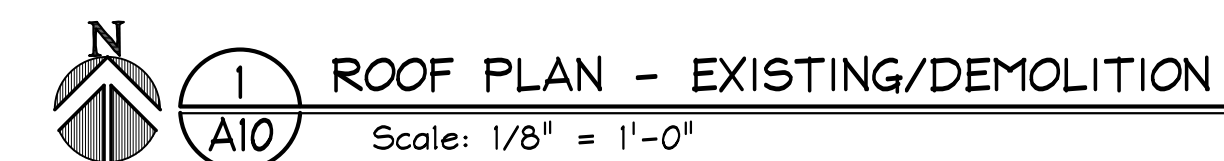
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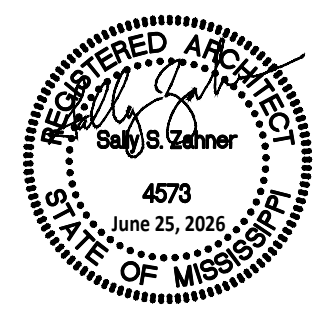
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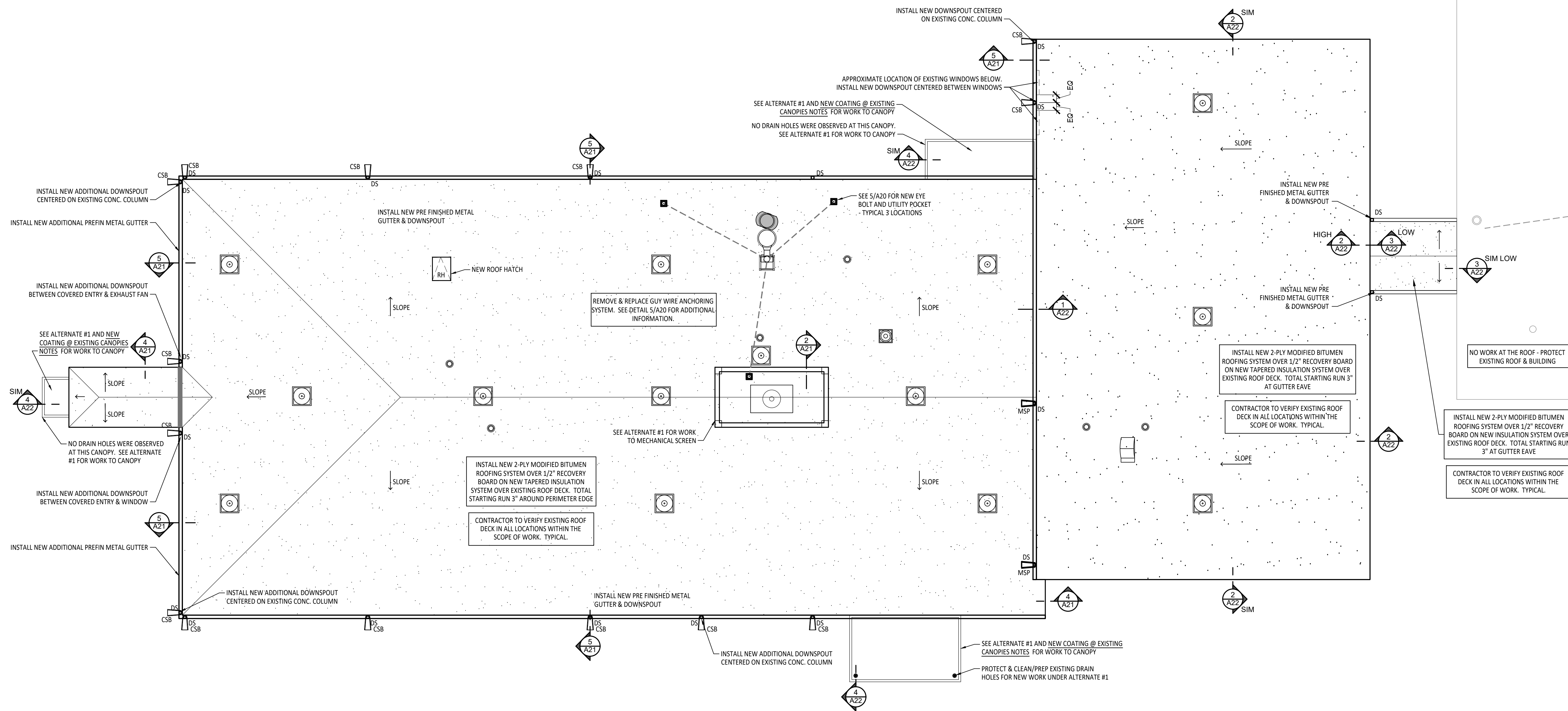
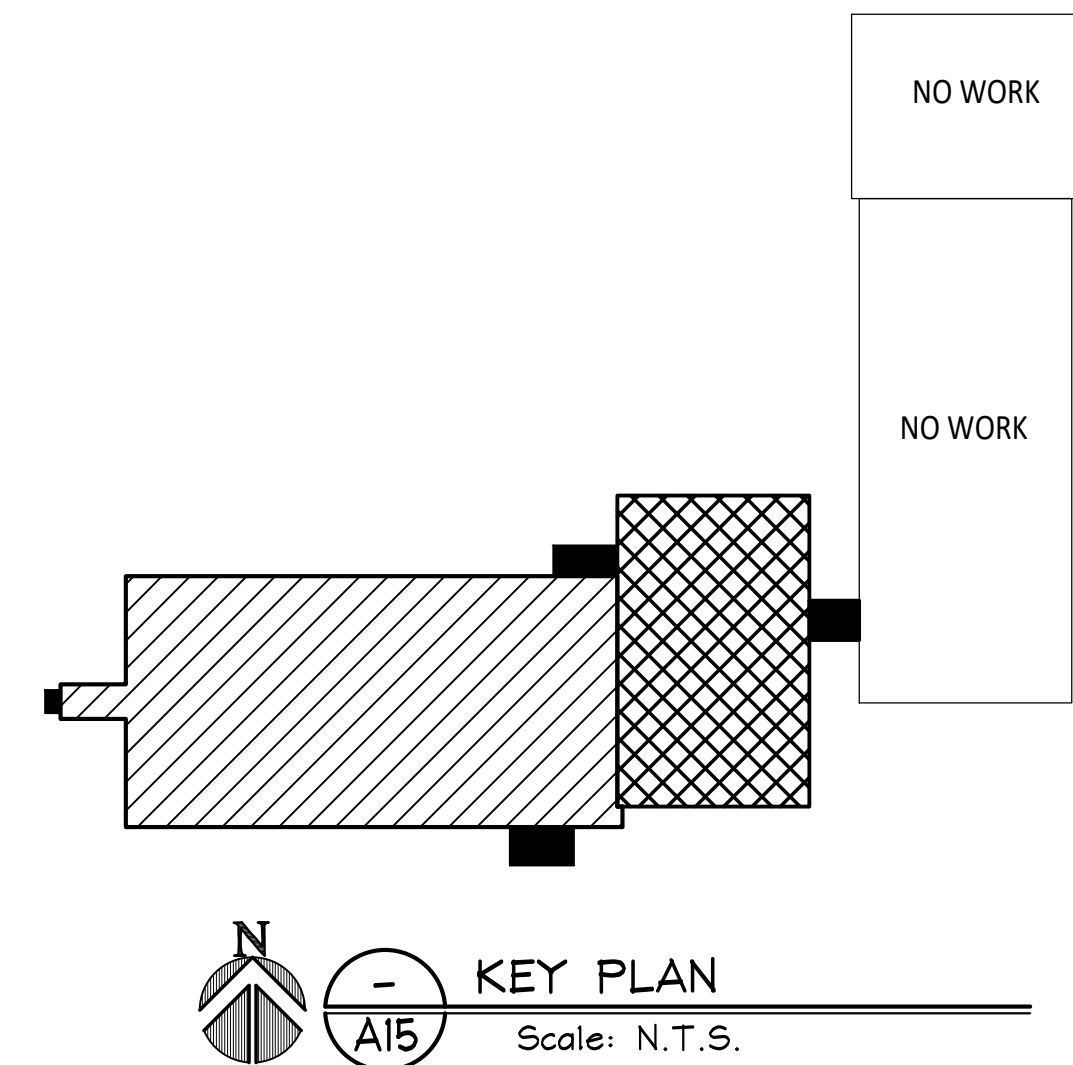
REVISIONS:

NEW COATING @ EXISTING CANOPIES NOTES:
ALL WORK TO THE 3 EXISTING CANOPIES UNDER ALTERNATE #1.

- EXISTING CONCRETE CANOPY: CLEAN, PATCH & REPAIR EXISTING CONCRETE CANOPY. PREP THE EXISTING SKYWARD FACING SURFACES FOR NEW 3-PART LIQUID APPLIED TEXTURED ROOF COATING.
- CANOPY ROOF DRAINS: CLEAN EXISTING DRAINS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL EXISTING DRAINS ARE CLEAR & PROPERLY FUNCTIONING AND TO MAINTAIN DRAINS UNTIL THE OWNER ACCEPTS THE WORK. PROVIDE & INSTALL NEW STAINLESS STEEL DRAIN GUARD EQ TO "GUTTER GUARD 2", (VERIFY DRAIN DIMENSIONS), 304 STAINLESS STEEL FILTER STRAINER" BY JOYLIGHT. INSTALL AT EACH EXISTING ROOF DRAIN.
- EXISTING CONCRETE CANOPY NEW ROOF COATING: NEATLY MASK OFF AT EDGES OF CANOPY OR CANOPY CURB FOR A NEAT EDGE OF ROOF COATING, TYP ALL SIDES. INSTALL PRIMER & 3-PART LIQUID APPLIED POLYMERIC ROOF MEMBRANE AND TEXTURED FINISH COAT OVER THE EXISTING CONCRETE CANOPY. SEE SPECIFICATIONS FOR ADDITIONAL INFORMATION.

LEGEND FOR ABBREVIATIONS - (NOT ALL MAY APPLY)

R.D. = EXISTING ROOF DRAIN
D.S. = DOWNSPOUT
E.F. = EXHAUST FAN
RH = ROOF HATCH/SCUTTLE
SKY. LT. = SKYLIGHT
C.U. = CONDENSING UNIT
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SC = EXISTING OVERFLOW/DRAINAGE SCUPPER
E.J. = EXPANSION JOINT



ROOF PLAN - NEW WORK
Scale: 1/8" = 1'-0"

CONTRACTOR SHALL INSTALL SEALANT OR FLUID APPLIED FLASHING SYSTEM, (SEE DETAILS FOR LOCATIONS), TO ALL EDGES OF PRE-FINISHED METAL FLASHING AND PRE-FINISHED METAL COUNTER FLASHING TO ENSURE THAT THERE ARE NO OPEN AREAS IN THE METAL FLASHING CONDITION. INSTALL FLUID APPLIED FLASHING SYSTEM EQUAL TO ALSAN AT THE TOP OF ALL EXISTING THRU-WALL FLASHING TO REMAIN INTACT.

WHERE THROUGH-WALL FLASHING EXISTS:

IT IS ABSOLUTELY CRITICAL THAT NO WORK IS PERFORMED THAT WILL DAMAGE THE PORTION OF THE FLASHING THAT IS TO REMAIN IN THE WALL. IF THE EXISTING THROUGH-WALL FLASHING IS PART OF A TWO PART SYSTEM, THE LOWER PORTION OF FLASHING MAY BE ABLE TO BE REMOVED AND THE PORTION OF FLASHING THAT EXTENDS THROUGH THE WALL CAN REMAIN AND HAVE NEW COUNTER-FLASHING RIVETED TO THE REMAINING FLASHING. OTHERWISE, THE PORTION OF THE EXISTING THROUGH-WALL FLASHING THAT EXTENDS OUT OF THE WALL SHALL BE CLEANLY CUT AND TRIMMED, AND PREPPED TO RECEIVE NEW PREFINISHED METAL COUNTER-FLASHING. COUNTER-FLASHING IS TO BE RIVETED TO THE EXISTING THROUGH-WALL FLASHING (UNLESS INDICATED OTHERWISE ON A DRAWING). THE NEW COUNTER-FLASHING IS TO BE PINNED SECURELY TO THE WALL AT 36" O.C. WITH DRIVE PINS IN MASONRY OR SCREWS WITH NEOPRENE WASHERS IN WOOD/METAL CONSTRUCTION. COUNTER-FLASHING SHALL BE CONFIGURED AS INDICATED WITH A DRIP EDGE AT THE BOTTOM.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THROUGH-WALL FLASHING CONDITIONS AND PERFORM ALL WORK SO THAT ANY EXISTING THROUGH-WALL FLASHING IS NOT DAMAGED. ADDITIONALLY, THE OPERATION OF ALL MASONRY WEEPS IS TO BE MAINTAINED BY ALL WORK.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT THE FLASHING THAT IS SET IN THE WALL IS ACTUALLY THROUGH-WALL FLASHING AND NOT SIMPLY SET IN A REGLET. IF IT IS DETERMINED THAT THE FLASHING IS SET IN A REGLET, FOLLOW INSTRUCTIONS FOR REGLET CONDITIONS BELOW. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS REGARDING THE WORK BEFORE CONSTRUCTION.

INSTALL NEW TERMINATION BAR AGAINST THE EXISTING WALL TO ANCHOR THE EDGE OF THE MODIFIED BITUMEN WALL FLASHING. APPLY MANUFACTURER'S RECOMMENDED SEALANT AT THE TOP EDGE OF ALL TERMINATION BARS.

INSTALL NEW FOIL FACED MODIFIED BITUMEN WALL FLASHING AT WALLS AND PARAPETS. LAP THE WALL FLASHING OVER THE MOD BIT ROOF AS RECOMMENDED BY THE MANUFACTURER FOR A WEATHER TIGHT CONDITION.

WHERE FLASHING IN AN EXISTING REGLET EXISTS (OR WHERE REGLET-MOUNTED COUNTER-FLASHING IS REQUIRED):

IF ANY EXISTING COUNTER-FLASHING IS SET IN A REGLET, THEN IT IS TO BE CAREFULLY REMOVED, AND THE REGLET SHALL BE CLEANED OF ANY SEALANT AND DEBRIS, ETC. NEW METAL COUNTER-FLASHING IS TO BE SET IN REGLET IN THE SAME LOCATION. ENSURE THAT THE NEW METAL IS FIRMLY SET IN THE REGLET AND IS NOT LOOSE. APPLY SEALANT AT THE JOINT OF THE NEW METAL AND REGLET.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THROUGH-WALL FLASHING CONDITIONS AND PERFORM ALL WORK SO THAT ANY EXISTING THROUGH-WALL FLASHING IS NOT DAMAGED. ADDITIONALLY, THE OPERATION OF ALL MASONRY WEEPS IS TO BE MAINTAINED BY ALL WORK. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS REGARDING THE WORK BEFORE CONSTRUCTION.

INSTALL NEW TERMINATION BAR AGAINST THE EXISTING WALL TO ANCHOR THE EDGE OF THE MODIFIED BITUMEN WALL FLASHING. APPLY MANUFACTURER'S RECOMMENDED SEALANT AT THE TOP EDGE OF ALL TERMINATION BARS.

INSTALL NEW FOIL FACED MODIFIED BITUMEN WALL FLASHING AT WALLS AND PARAPETS. LAP THE WALL FLASHING OVER THE MOD BIT ROOF AS RECOMMENDED BY THE MANUFACTURER FOR A WEATHER TIGHT CONDITION.

WHERE OTHER CONDITIONS EXIST (WHERE SURFACE-MOUNTED COUNTER-FLASHING IS NECESSARY OR REQUIRED):

IF ANY EXISTING COUNTER-FLASHING IS SURFACE-MOUNTED, THE NEW COUNTER-FLASHING CAN BE SURFACE-MOUNTED (UNLESS INDICATED OTHERWISE ON A DRAWING). EXISTING SURFACE-MOUNTED FLASHING, TERMINATION BARS, AND ALL ASSOCIATED ANCHORS AND ACCESSORIES SHALL BE REMOVED IN THEIR ENTIRETY, AND THE SURFACE OF THE WALL SHALL BE PREPPED FOR A NEW FLASHING SYSTEM. NEW PREFINISHED METAL COUNTER-FLASHING SHALL BE INSTALLED ABOVE THE LOCATION OF THE LAST SURFACE-MOUNTED FLASHING. THE NEW COUNTER-FLASHING IS TO BE PINNED SECURELY TO THE WALL AND SEALANT IS TO BE APPLIED TO THE TOP EDGE OF THE NEW COUNTER-FLASHING. COUNTER-FLASHING SHALL BE CONFIGURED AS INDICATED TO ALLOW FOR THE SEALANT APPLICATION.

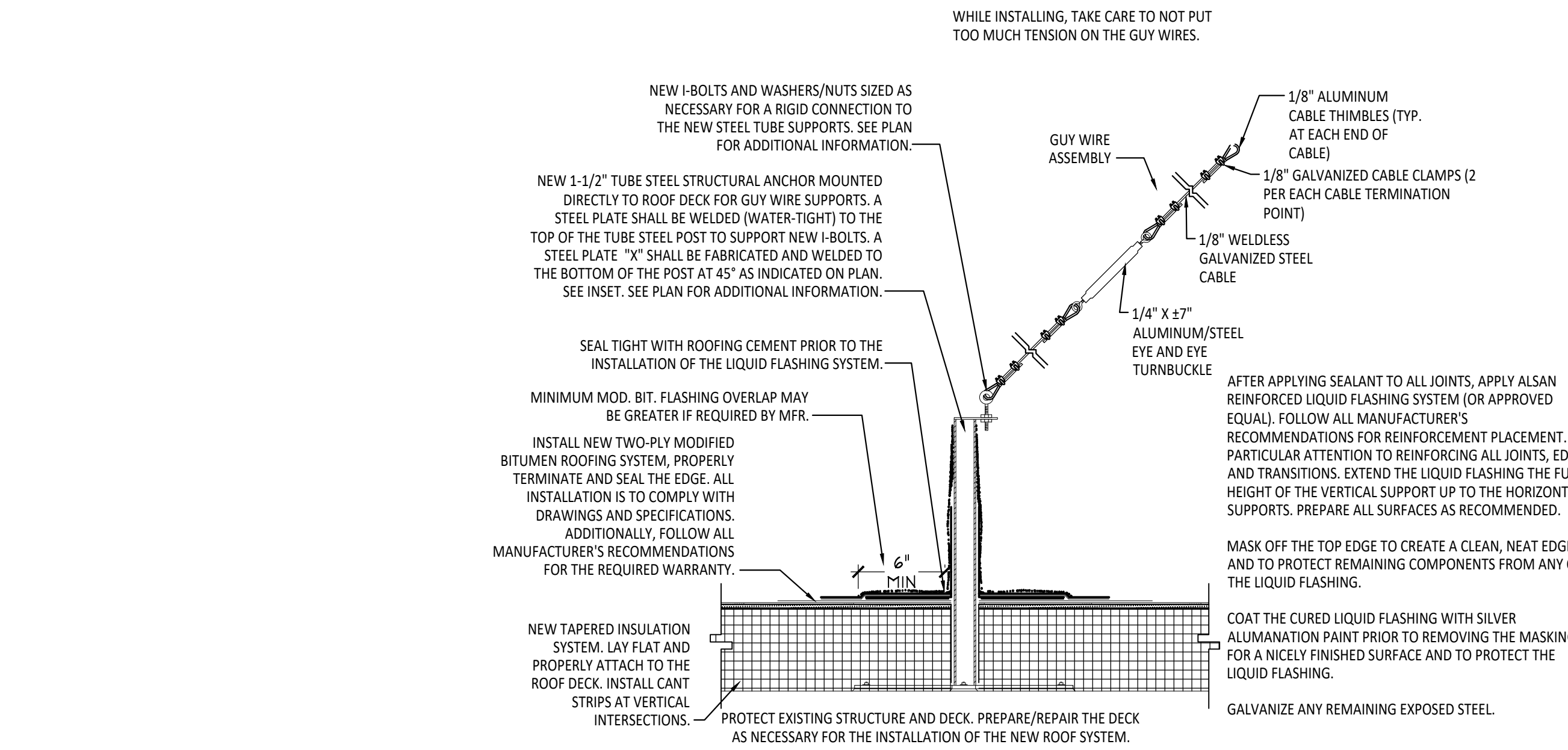
IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL THROUGH-WALL FLASHING CONDITIONS AND PERFORM ALL WORK SO THAT ANY EXISTING THROUGH-WALL FLASHING IS NOT DAMAGED. ADDITIONALLY, THE OPERATION OF ALL MASONRY WEEPS IS TO BE MAINTAINED BY ALL WORK. CONTRACTOR SHALL CONTACT ARCHITECT FOR ANY DISCREPANCIES OR QUESTIONS REGARDING THE WORK BEFORE CONSTRUCTION.

INSTALL NEW TERMINATION BAR AGAINST THE EXISTING WALL TO ANCHOR THE EDGE OF THE MODIFIED BITUMEN WALL FLASHING. A TERMINATION BAR AND COUNTER-FLASHING ARE BOTH REQUIRED (COUNTER-FLASHING IS NOT TO BE USED IN LIEU OF A TERMINATION BAR). APPLY MANUFACTURER'S RECOMMENDED SEALANT AT THE TOP EDGE OF ALL TERMINATION BARS.

INSTALL NEW FOIL FACED MODIFIED BITUMEN WALL FLASHING AT WALLS AND PARAPETS. LAP THE WALL FLASHING OVER THE MOD BIT ROOF AS RECOMMENDED BY THE MANUFACTURER FOR A WEATHER TIGHT CONDITION.

FLASHING DETAILS

Scale: 3" = 1'-0"



GUY WIRE & TURNBUCKLE

Scale: 1 1/2" = 1'-0"

GENERAL DEMOLITION NOTES:

EXISTING ROOFING SYSTEM: REMOVE THE EXISTING ROOFING SYSTEM AND ALL ASSOCIATED MATERIALS DOWN TO THE EXISTING ROOF DECK. CONTRACTOR TO VERIFY EXISTING DECK CONDITION AND PATCH ANY DAMAGED AREAS TO INCLUDE ANY AREAS WHERE ROOF PENETRATIONS WERE REMOVED. VERIFY WITH OWNER/ARCHITECT OF ANY EQUIPMENT NOT IN USE AND REMOVE & TURN OVER EQUIPMENT TO OWNER. PATCH DECK AS NOTED, DETAILED AND SPECIFIED. CLEAN AND PREP EXISTING DECK FOR THE NEW WORK. SEE PLANS AND DETAILS FOR ADDITIONAL INFORMATION.

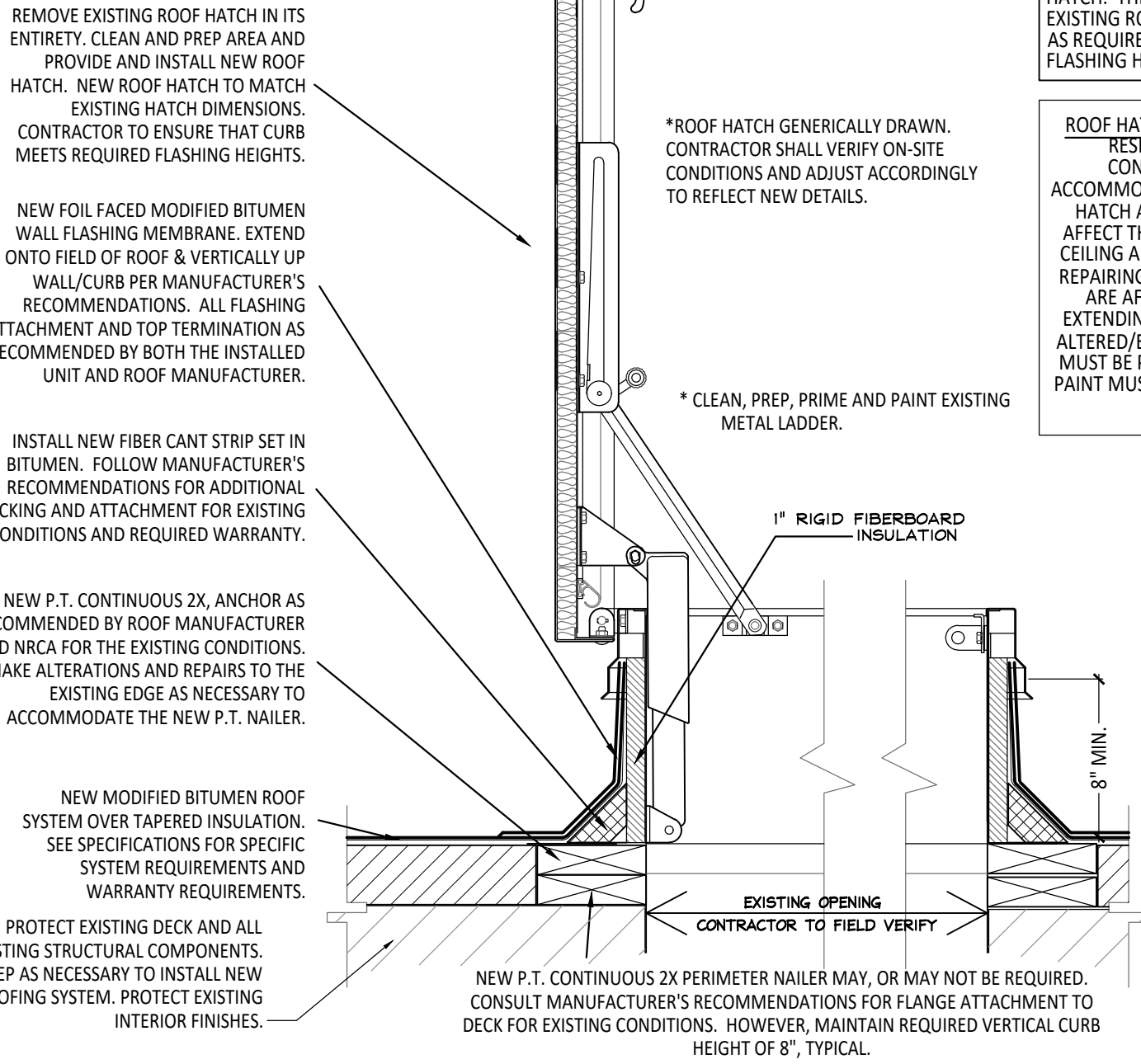
EXISTING FLASHING, COUNTERFLASHING, TERMINATION BARS, ETC.: REMOVE ALL TERM. BARS, SURFACE MOUNTED METAL FLASHING/COUNTER FLASHING, METAL FLASHING SET IN A REGLET, METAL EDGE FLASHING. CLEAN AREA/SURFACE OR REGLET OF ALL MATERIALS, DEBRIS, SEALANT, ETC. AND PREP TO RECEIVE NEW WORK. SEE DETAILS & NOTES FOR ADDITIONAL INFORMATION.

GUTTERS & DOWNSPOUTS: REMOVE EXISTING GUTTERS, DOWNSPOUTS, METAL SPLASH PANS AND CONCRETE SPLASH BLOCKS. CLEAN AND PREP SURFACES FOR NEW WORK AS DETAILED, NOTED & SPECIFIED.

CONTRACTOR TO VERIFY EXISTING ROOF DECK AT ALL LOCATIONS WITHIN THE SCOPE OF WORK. TYPICAL.

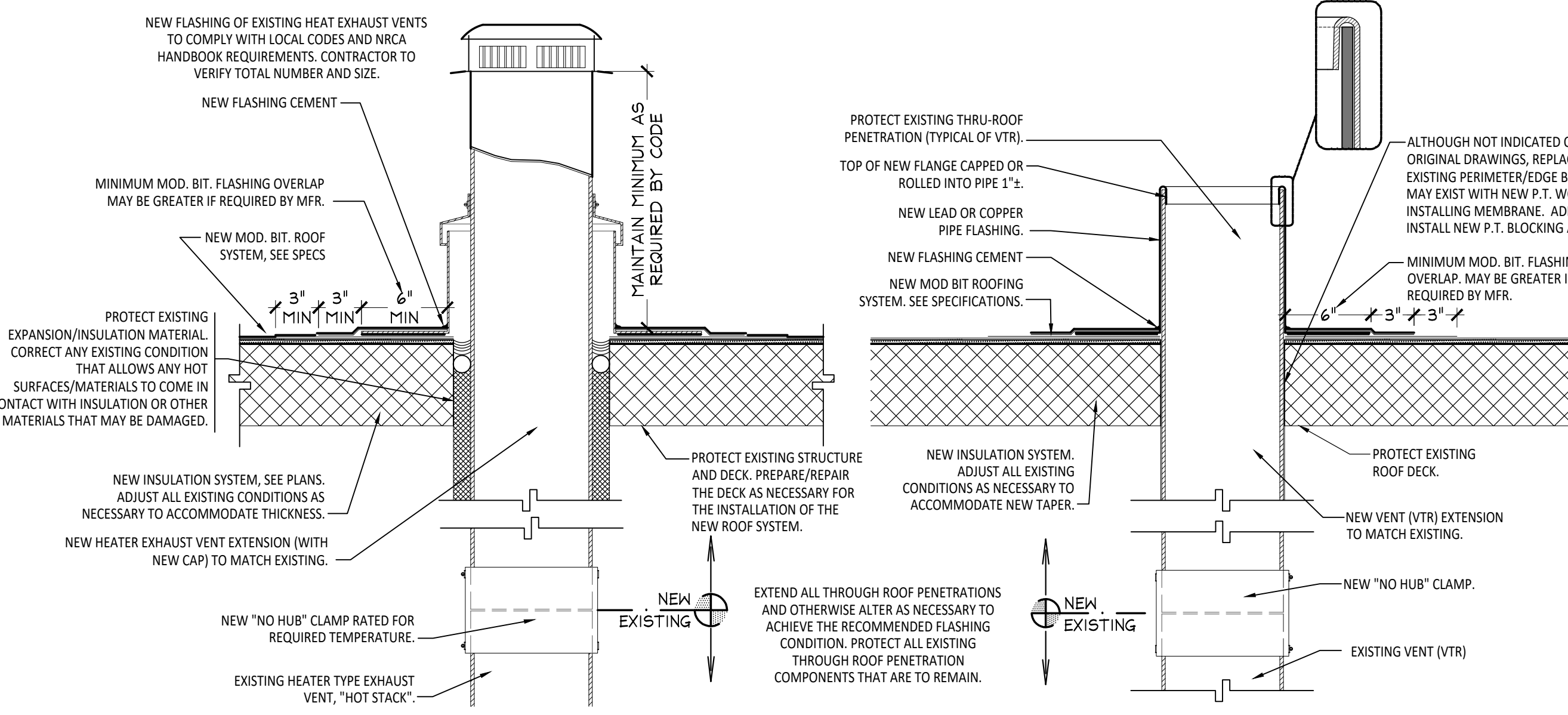
GUY WIRE & TURNBUCKLE- PLAN

Scale: 1 1/2" = 1'-0"



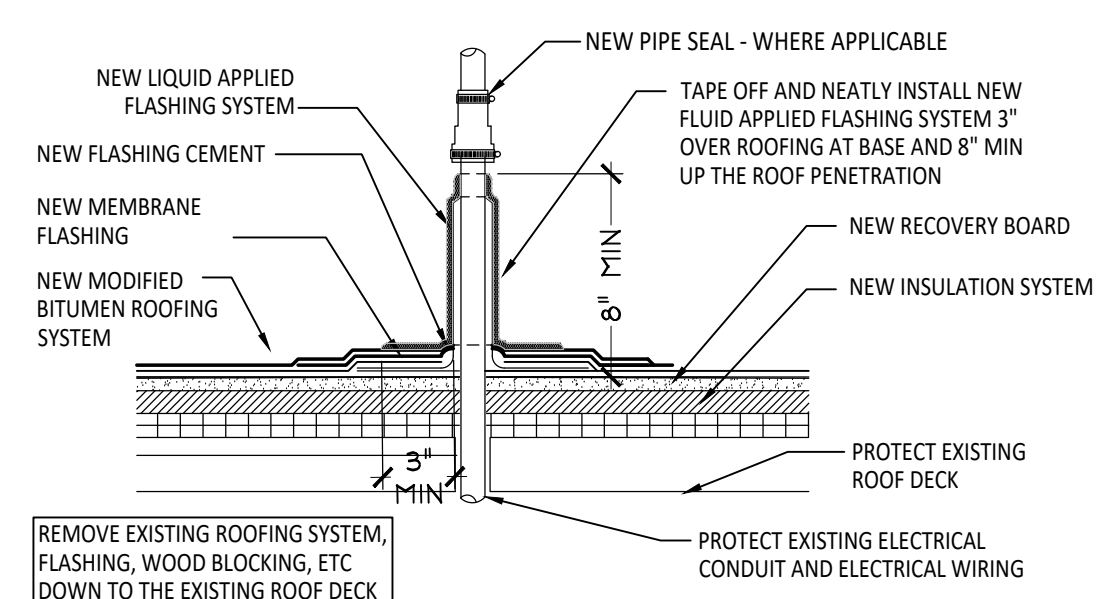
NEW ROOF HATCH

Scale: 1 1/2" = 1'-0"



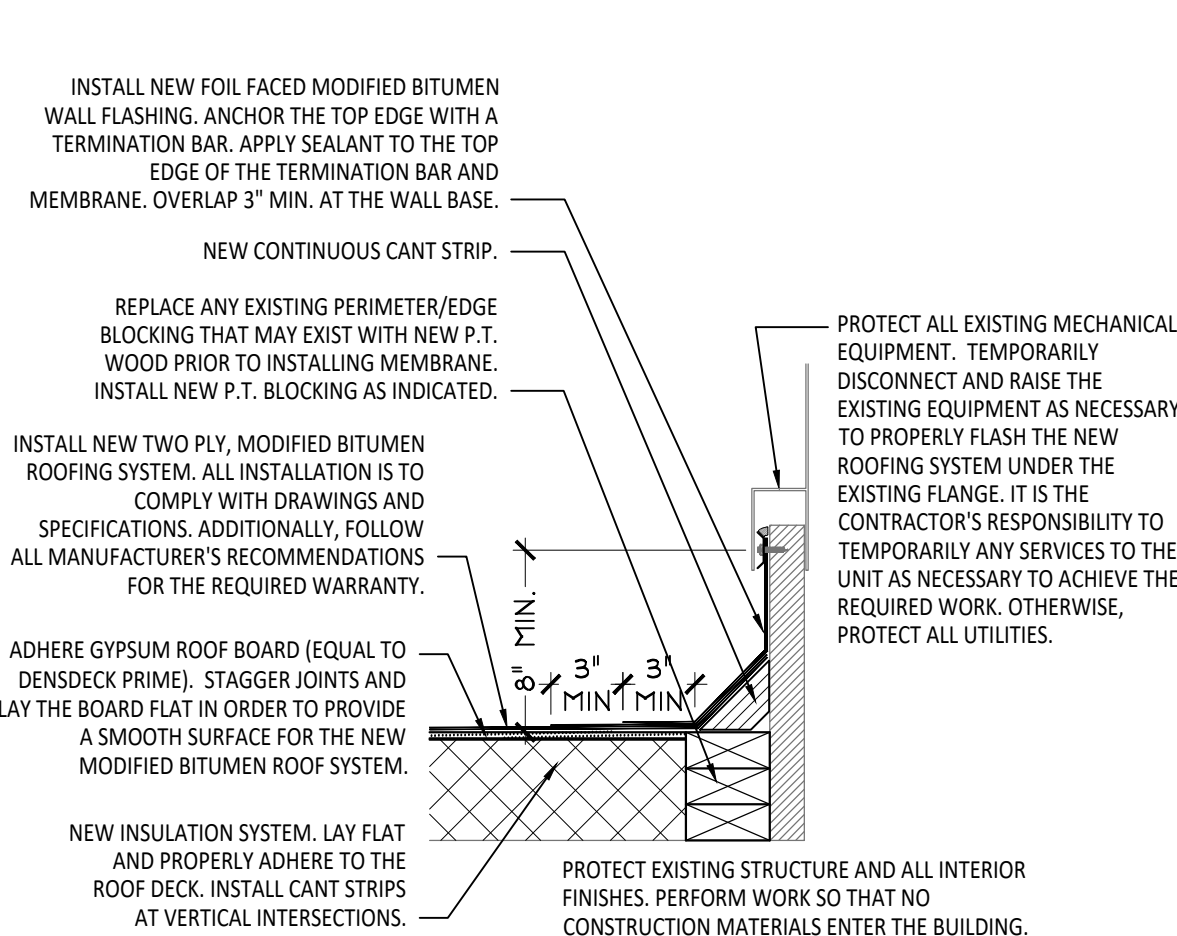
EXHAUST VENT/HEAT STACK

Scale: 1 1/2" = 1'-0"



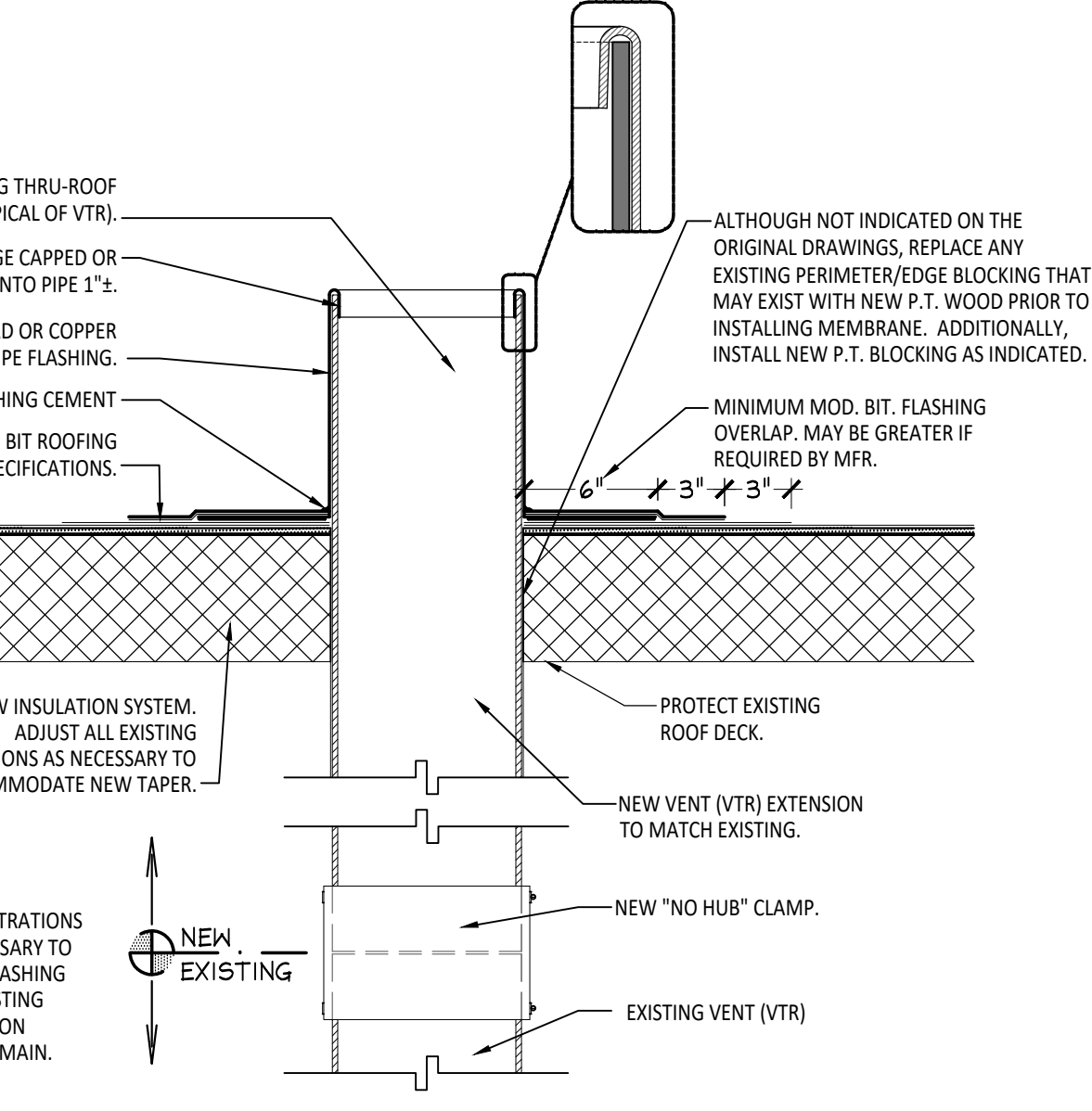
EXISTING UTILITY/PITCH POCKET

Scale: 1 1/2" = 1'-0"



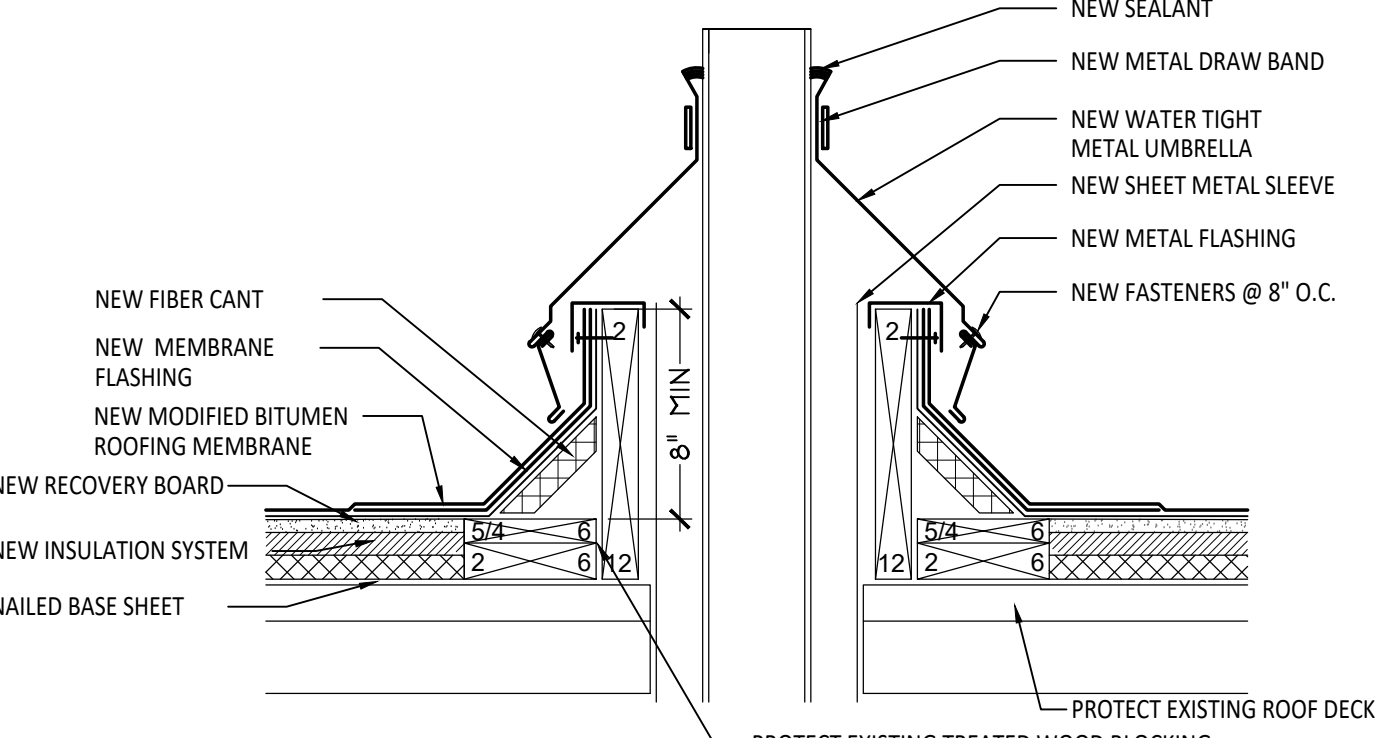
ROOF EQUIPMENT CURB

Scale: 1 1/2" = 1'-0"



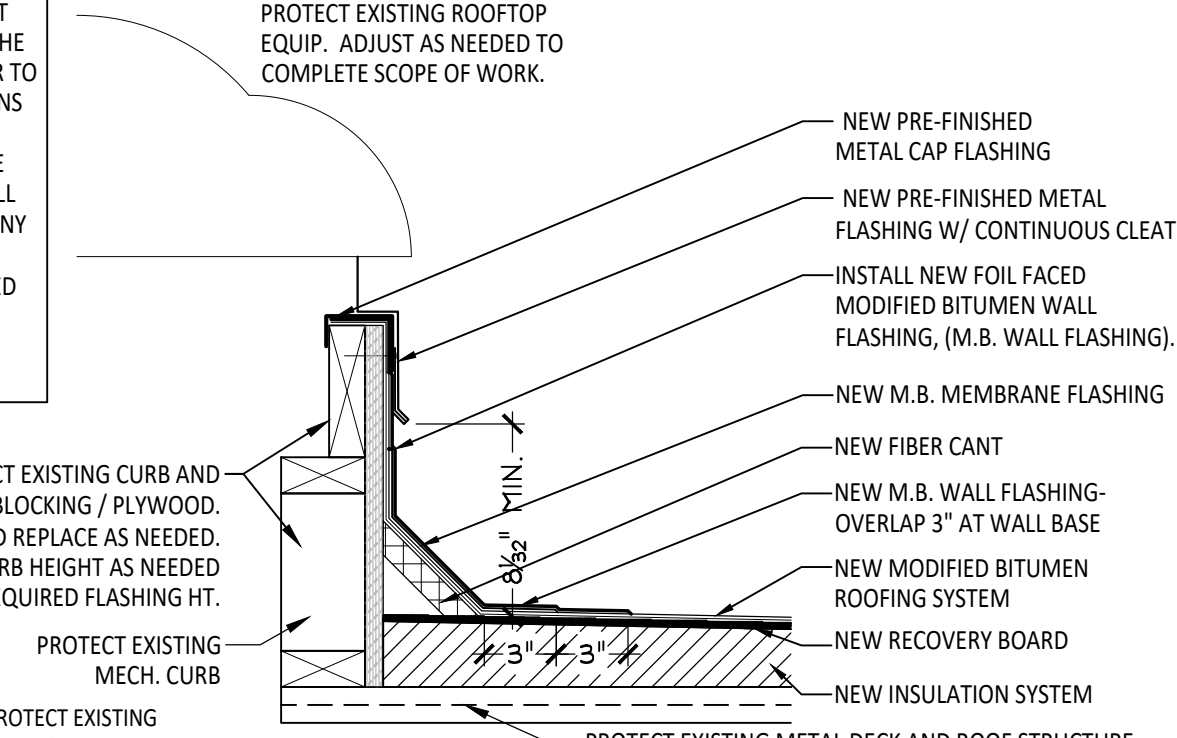
VTR/PLUMBING VENT

Scale: 1 1/2" = 1'-0"



VENT STACK

Scale: 1 1/2" = 1'-0"



EXHAUST FAN

Scale: 1 1/2" = 1'-0"



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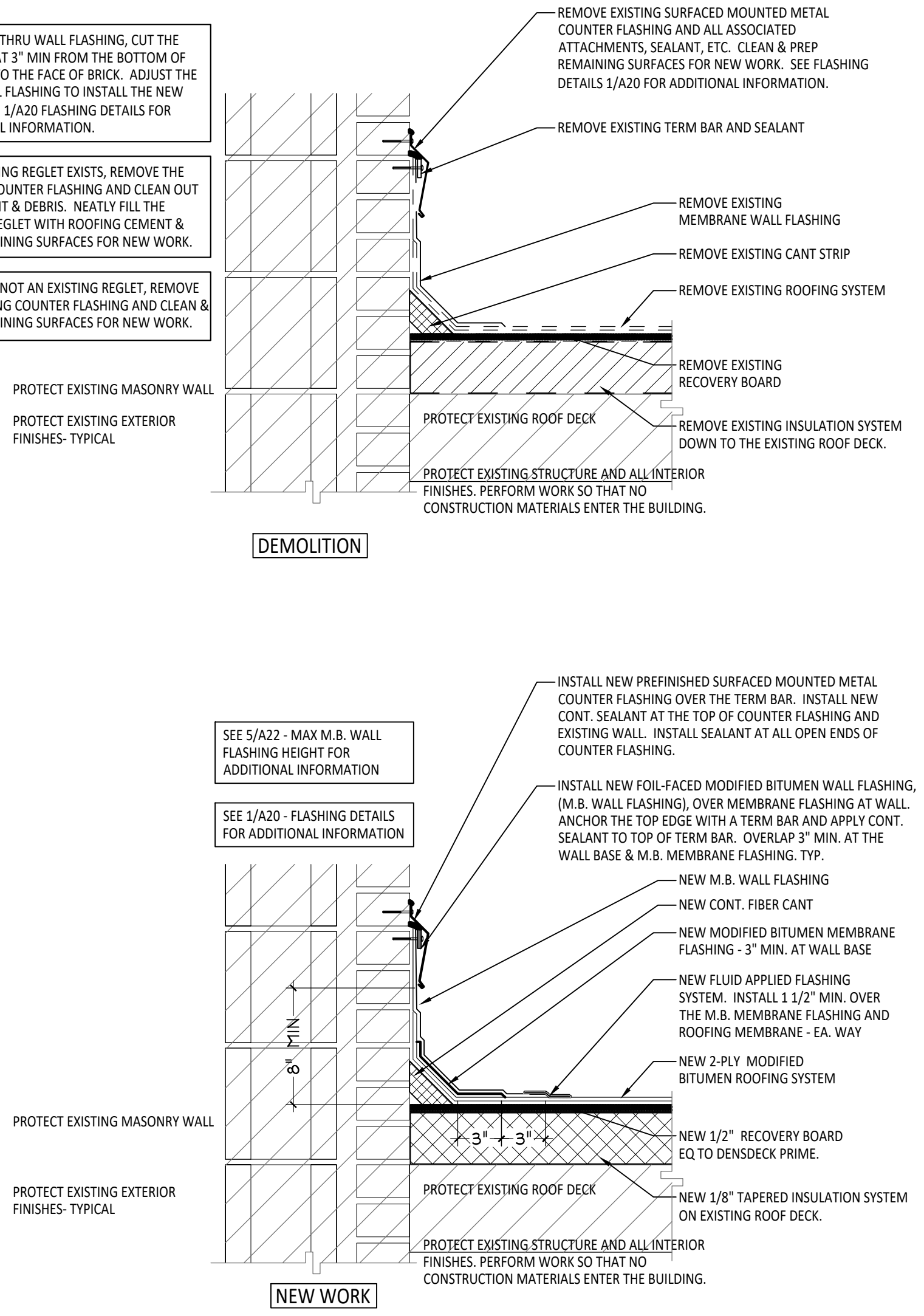
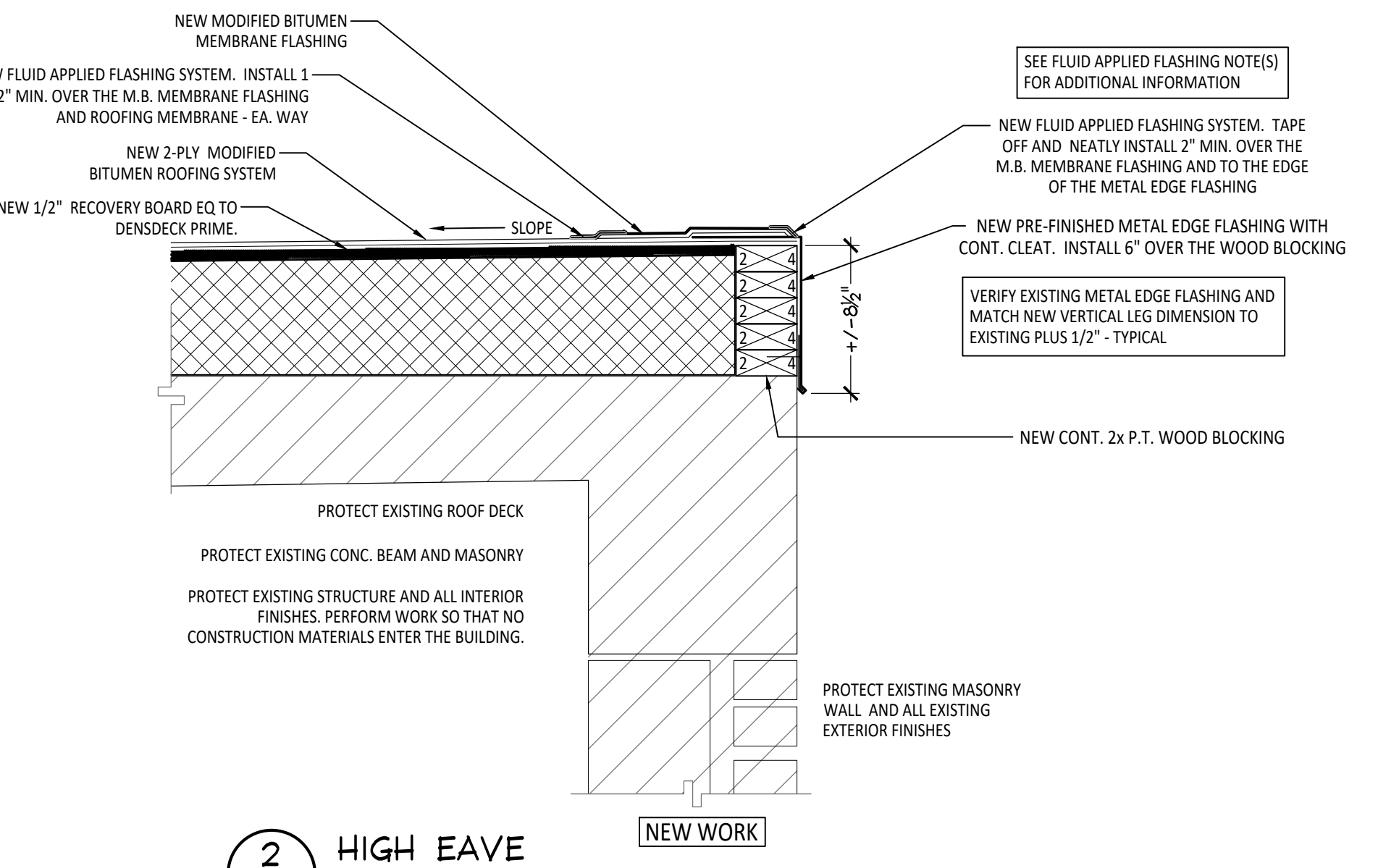
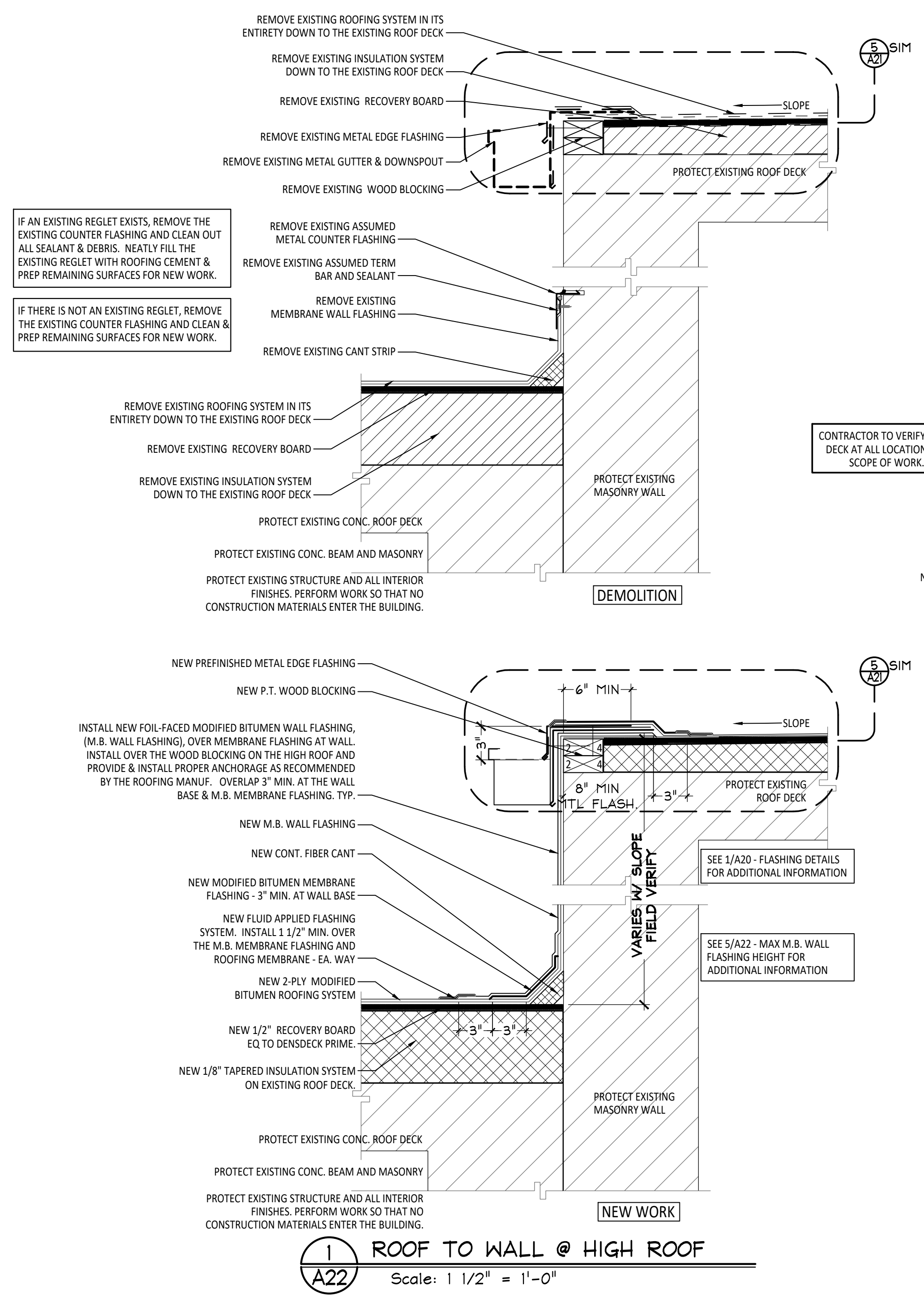
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GENERAL DETAIL NOTE: ALL ITEMS, REMAINING SURFACES, MATERIALS, ETC. THAT ARE REMAINING AFTER DEMOLITION ARE TO BE PREPARED AS NECESSARY TO RECEIVE THE NEW WORK. REFER TO THE NEW DETAILS, SPECIFICATIONS AND MANUFACTURER'S RECOMMENDATIONS FOR REQUIREMENTS. IN SEVERAL CASES ITEMS ARE SHOWN AS BEING "ASSUMED" OR "UNKNOWN". THESE ARE LISTED THIS WAY BECAUSE THEY APPEAR ON EXISTING DRAWINGS OR BECAUSE A PORTION OF THE DETAIL IS VISIBLE AND THE REMAINDER HAD TO BE ASSUMED. IN ALL OF THESE CASES THE CONTRACTOR SHALL ALLOW FOR VARIATIONS IN CONSTRUCTION AND ADJUST THE DETAILS OF NEW WORK ACCORDINGLY. THE CONTRACTOR IS TO VERIFY ROOF SLOPES TO THE EXTENT THAT THEY AFFECT THE WORK AND MAKE ANY NECESSARY ADJUSTMENTS TO THE WORK.

FLUID APPLIED FLASHING NOTE: INSTALL THE MFR'S FLUID APPLIED FLASHING SYSTEM TO PROVIDE A WEATHER TIGHT CONDITION. THE FLUID APPLIED SYSTEM IS TO BE MASKED OFF WHERE NECESSARY TO CREATE A NEAT/ CLEAN TRANSITION AT THE EDGES. ALL FLUID APPLIED FLASHING IS TO BE FINISHED WITH GRANULES WHERE IT IS ADJACENT TO GRANULAR SURFACED CAP SHEET OR WITH SILVER ALUMINATION COATING WHERE IT IS ADJACENT TO FOIL FACED WALL FLASHING. ALL FLASHINGS, COUNTER FLASHING, ETC. MUST ALSO BE INSTALLED AS INDICATED IN ADDITION TO THE FLUID APPLIED FLASHING SYSTEM. IN ALL CONDITIONS, DO NOT COVER EXISTING WEEP DRAINAGE THROUGH EXISTING WALLS.

PROTECTION OF EXISTING OBJECTS/MATERIALS: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL COMPONENTS OF THE BUILDING AND SITE FROM DAMAGE. IN PARTICULAR, ALL CAST STONE PARAPETS, SPECIAL FINISHES, ETC. MUST BE PROTECTED FROM DAMAGE AND BLEMISHES DUE TO CONSTRUCTION ACTIVITIES AND MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR HAVING PROTECTION IN PLACE AT ALL TIMES. BUILDING SURFACES SHALL BE PROTECTED AT THE LOCATIONS WHERE MATERIALS ARE BEING LOADED ONTO THE ROOF AND ROOF EDGES WHERE WORK IS TAKING PLACE TO PROTECT AGAINST ACCIDENTAL SPILLS/ACCIDENTS.

WHERE FLUID APPLIED FLASHING IS SPECIFIED: * AFTER APPLYING SEALANT TO ALL JOINTS, APPLY ALSO REINFORCED LIQUID FLASHING SYSTEM (OR APPROVED EQUAL). VERIFY PRIOR TO APPLICATION THAT THE LIQUID FLASHING IS COMPATIBLE WITH THE TEMPERATURE RANGE. FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS FOR REINFORCEMENT PLACEMENT. PAY PARTICULAR ATTENTION TO REINFORCING ALL JOINTS, EDGES, AND TRANSITIONS. EXTEND THE LIQUID FLASHING THE FULL HEIGHT OF THE VERTICAL SUPPORT UP TO THE HORIZONTAL SUPPORTS. PREPARE ALL SURFACES AS RECOMMENDED. * MASK OFF THE TOP EDGE TO CREATE A CLEAN, NEAT EDGE AND TO PROTECT REMAINING COMPONENTS FROM ANY OF THE LIQUID FLASHING. ** COAT THE CURED LIQUID FLASHING WITH SILVER ALUMINATION PAINT PRIOR TO REMOVING THE MASKING FOR A NICELY FINISHED SURFACE AND TO PROTECT THE LIQUID FLASHING.

GENERAL DEMOLITION NOTE: REMOVE EXISTING ROOF SYSTEM DOWN TO EXISTING ROOF DECK. REMOVE ALL EXISTING FLASHINGS, CANTS, SEALANTS, ETC. REPLACE ANY DETERIORATED/ROTTED PERIMETER EDGE BLOCKING WITH NEW TREATED WOOD PRIOR TO INSTALLING NEW ROOFING MEMBRANE. NEW BLOCKING SHALL MATCH EXISTING DIMENSIONS AND SUFFICIENT HEIGHT NECESSARY TO MEET MANUFACTURER'S RECOMMENDATIONS AND REQUIREMENTS. CLEAN AND PREP REMAINING SURFACES TO RECEIVE NEW MODIFIED BITUMEN ROOFING SYSTEM AS SHOWN. PROTECT EXISTING ROOF PENETRATIONS TO REMAIN DURING ALL PHASES OF WORK.

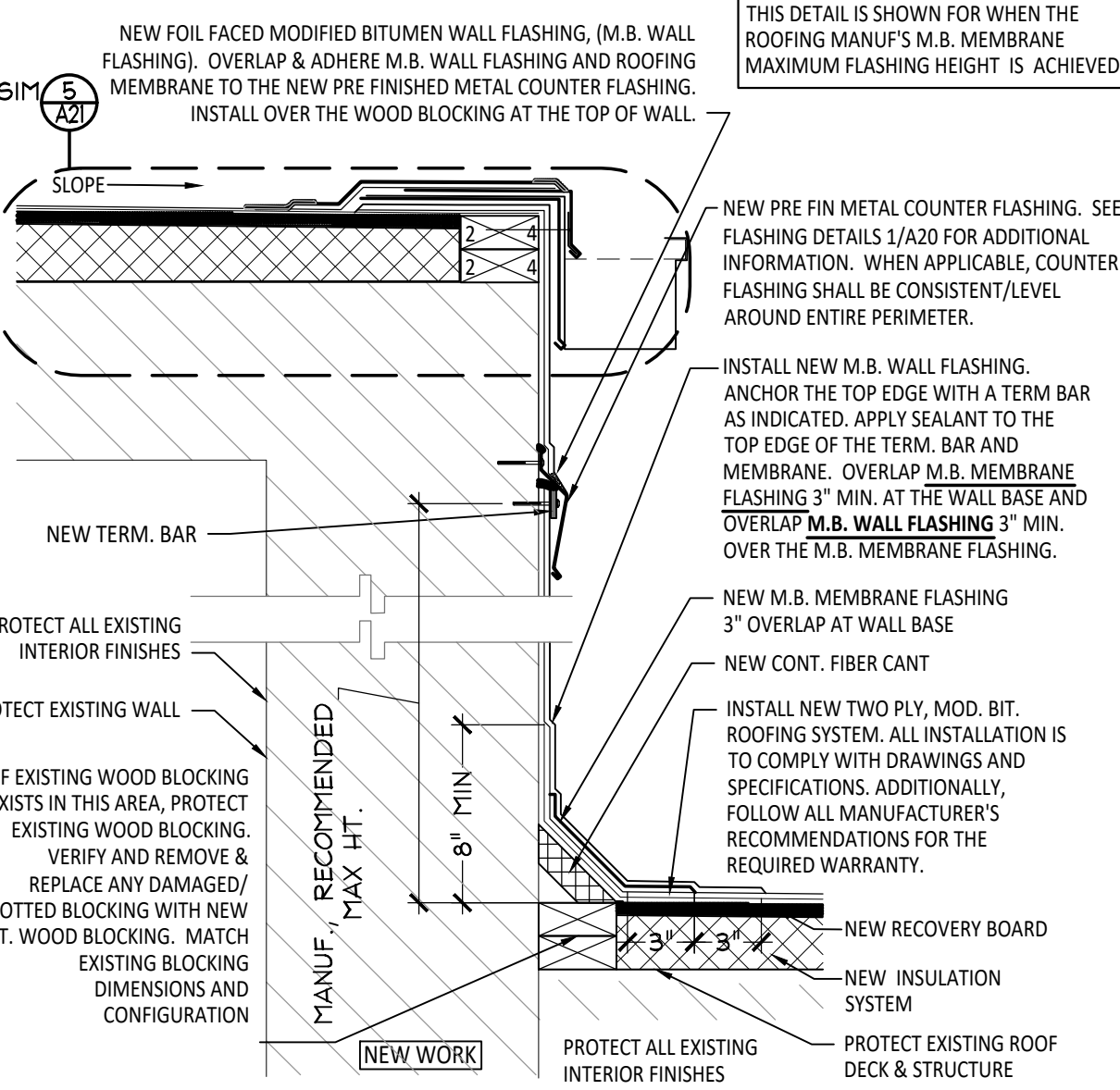
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EXISTING FLASHING, COUNTERFLASHING, TERMINATION BARS, ETC.: REMOVE ALL TERM. BARS, SURFACE MOUNTED METAL FLASHING/COUNTER FLASHING, METAL FLASHING SET IN A REGLET, METAL EDGE FLASHING. CLEAN AREA/SURFACE OR REGLET OF ALL MATERIALS, DEBRIS, SEALANT, ETC. AND PREP TO RECEIVE NEW WORK. SEE DETAILS & NOTES FOR ADDITIONAL INFORMATION.

GUTTERS & DOWNSPOUTS: REMOVE EXISTING GUTTERS, DOWNSPOUTS, METAL SPLASH PANS AND CONCRETE SPLASH BLOCKS. CLEAN AND PREP SURFACES FOR NEW WORK AS DETAILED, NOTED & SPECIFIED.

WHERE EXISTING COUNTER-FLASHING IS SURFACE-MOUNTED, INSTALL NEW PREFINISHED SURFACED MOUNTED COUNTER-FLASHING, (UNLESS INDICATED OTHERWISE ON A DRAWING). REMOVE EXISTING SURFACE-MOUNTED FLASHING SYSTEM IN ITS ENTIRETY. CLEAN & PREP SURFACE OF THE EXISTING WALL. NEW PREFINISHED METAL COUNTER FLASHING SHALL BE INSTALLED ABOVE THE LOCATION OF THE LAST SURFACE-MOUNTED FLASHING. THE NEW COUNTER-FLASHING IS TO BE PINNED SECURELY TO THE WALL AND SEALANT IS TO BE APPLIED TO THE TOP EDGE OF THE NEW COUNTER-FLASHING. COUNTER-FLASHING SHALL BE CONFIGURED AS INDICATED TO ALLOW FOR THE SEALANT APPLICATION.

MAXIMUM M.B. WALL FLASHING HEIGHT NOTE: IF THE EXISTING ROOF TO WALL CONDITION EXCEEDS THE MANUFACTURER'S MAXIMUM ROOFING MEMBRANE FLASHING HEIGHT, INSTALL NEW ROOFING MEMBRANE & FOIL FACED MODIFIED BITUMEN WALL FLASHING AT THE MAX RECOMMENDED HT. ANCHOR THE TOP EDGE WITH A TERMINATION BAR. INSTALL FLUID-APPLIED FLASHING SYSTEM TO THE TOP EDGE OF THE TERMINATION BAR AND MEMBRANE. OVERLAP THE M.B. WALL FLASHING 3" MIN. AT WALL BASE. INSTALL NEW PREFINISHED COUNTER FLASHING OVER THE TERM. BAR. NEATLY APPLY SEALANT AT THE TOP EDGE OF THE COUNTER FLASHING. SEAL THE EXPOSED (OPEN) ENDS OF THE COUNTER FLASHING NEATLY WITH A MANUFACTURER'S RECOMMENDED SEALANT. FOLLOW ALL MANUF. INSTALLATION RECOMMENDATIONS AS REQUIRED TO ACHIEVE THE MANUF'S ROOF WARRANTY.

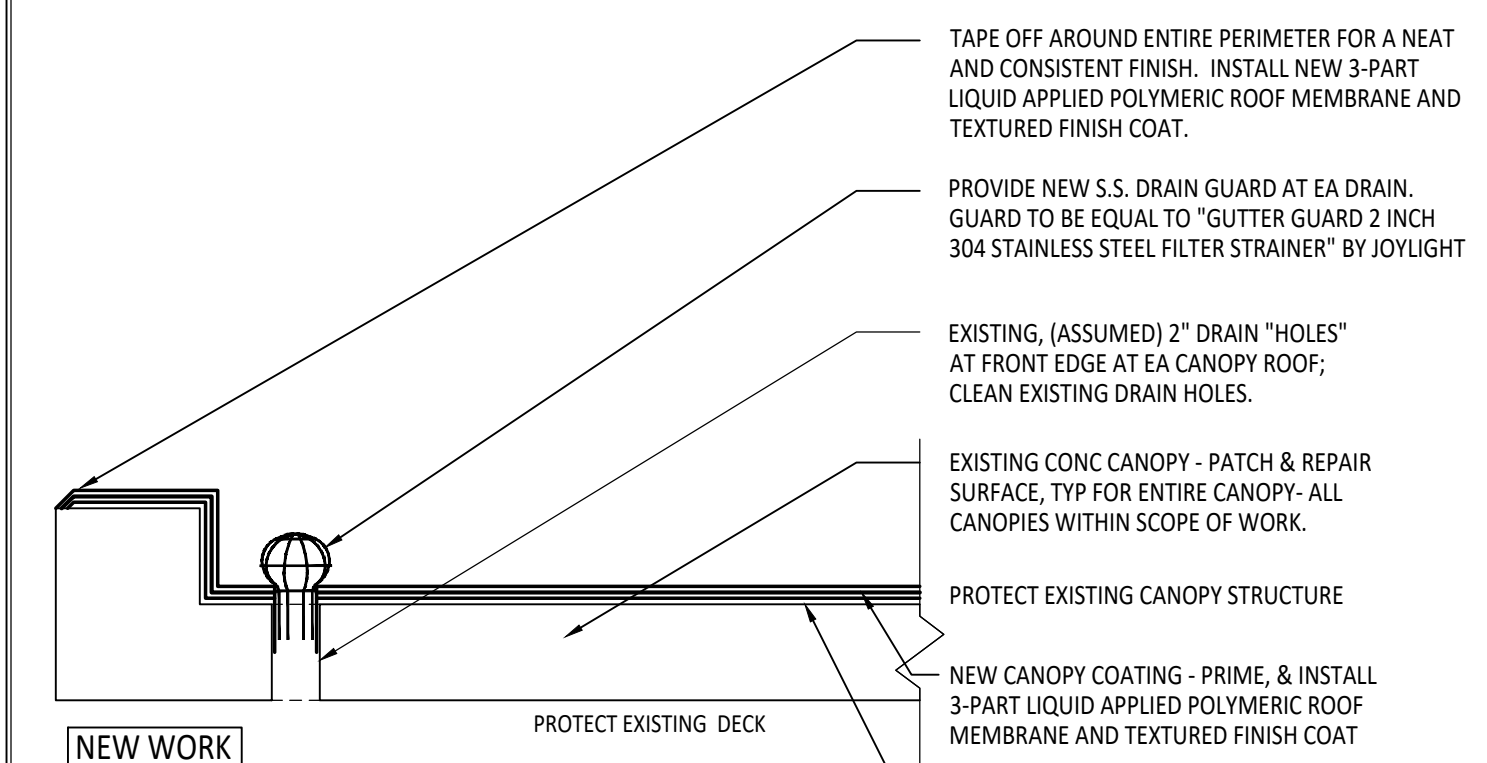


CONTRACTOR TO VERIFY EXISTING ROOF DECK AT ALL LOCATIONS WITHIN THE SCOPE OF WORK. TYPICAL

EXISTING CONCRETE CANOPY NOTES: CONCRETE CANOPIES UNDER ALTERNATE #1. PRIOR TO ANY DEMOLITION, CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS & DIMENSIONS. NOTIFY OWNER/ARCHITECT OF ANY MAJOR DISCREPANCIES THAT MAY AFFECT THE SCOPE OF WORK.

- AT THE FRONT EDGE OF THE SOUTH/MAIN ENTRY CANOPY, THERE ARE 2 EXISTING ROOF DRAIN "HOLES". THESE DRAINS/HOLES ARE BELIEVED TO BE 2" (CONTRACTOR TO VERIFY). PROVIDE NEW S.S. DRAIN GUARD AT EA DRAIN/HOLE. GUARD TO BE EQUAL TO "GUTTER GUARD 2 INCH 304 STAINLESS STEEL FILTER STRAINER" BY JOYLIGHT. CLEAN EXISTING DRAIN LINES/HOLES. BEFORE DEMOLITION BEGINS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT EXISTING ROOF DRAIN HOLES ARE CLEAR AND PROPERLY FUNCTIONING.
- ALL SKYWARD- FACING SURFACES OF CANOPIES TO BE CLEANED & PREPPED PER MFR RECOMMENDATIONS. THERE IS A PERIMETER CURB AT THE EXISTING SOUTH/MAIN ENTRY CANOPY. MASK OFF AT EDGE OF CANOPY CURB FOR A NEAT EDGE OF ROOF APPEARANCE. NOT ALL CANOPIES MAY HAVE BEEN CONSTRUCTED WITH A CURB. IN ALL INSTANCES, NEATLY TAPE OFF AT THE EDGE OF THE SKYWARD FACING SURFACES. INSTALL PRIMER & 3-PART LIQUID APPLIED POLYMERIC ROOF MEMBRANE, AND TEXTURED FINISH COAT.

SEE NEW COATING @ EXISTING CANOPIES NOTE ON SHEETS A01, A10, A15 & THE SPECIFICATIONS FOR ADDITIONAL INFORMATION.



ROOF DRAIN NOTE: BEFORE DEMOLITION BEGINS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THAT ALL EXISTING ROOF DRAIN LINES AND/OR DRAIN HOLES ARE CLEAR AND DRAINING PROPERLY. IF ANY PROBLEMS EXIST THEY SHOULD BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND OWNER FOR CORRECTION. OTHERWISE, IT WILL BE ASSUMED THAT THE DRAIN LINES/HOLES ARE FULLY OPERATIONAL AND THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTAINING ALL DRAINS/HOLES DURING CONSTRUCTION UNTIL THE ROOF IS ACCEPTED BY THE OWNER.

4 CONCRETE CANOPY
Scale: 1 1/2" = 1'-0"

ALTERNATE #1